



PLANNING COMMISSION MEETING

ZOOM MEETING

Tuesday, June 30, 2020 at 6:30 pm

City Council Chambers

13690 NW Main Street

Banks, OR 97106

AGENDA

COVID-19: Due to the emergency declaration resulting from COVID-19 (Coronavirus disease) and protocols, the City Council is limiting in-person contact and encouraging social distancing.

The Planning Commission Meeting will be conducted remotely by video conferencing.

TO LISTEN TO THIS MEETING LIVE

Use the ZOOM App on your electronic device and the following link:

<https://us02web.zoom.us/j/89278396083?pwd=S0NoVXB3ZINZQ2Jjd0RwZ0lVb0w5dz09>

Meeting ID: 892 7839 6083

Password: 875093

If using phone only (no internet) call 1-253-215-8782

Meeting ID: 892 7839 6083

Password: 875093

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

1. Approval of minutes from the May 26th, 2020 meeting.

PUBLIC COMMENT (Time reserved for anyone in the audience to comment on any items of concern, except those items appearing on the agenda. The Planning Commission reserves the right to defer

Next Regular Planning Commission Meeting: July 28th, 2020 at 6:30 PM.

any request for action regarding a non-scheduled agenda item. Comments may be limited at the discretion of the Chairperson).

PUBLIC HEARINGS

2. SPR 20-01. Site Plan Review to construct a 30-unit multi-family housing development at 42350 NW Banks Road.

To provide public testimony during the hearing, you may testify by telephone or ZOOM Webinar.

Please email alanter@cityofbanks.org at least 24 hours prior to the meeting with the following information:

- First and Last name
- Email address
- Phone number
- Full address
- How would you like to provide testimony by phone (include the phone number you will be calling from), or online via Zoom.
- Are you providing testimony as an individual, or representing a group?
 - If you are a group, please provide your group's name and the number of people with comments.
- At what point during the public hearing would you like to speak?
 - Testimony in favor
 - Testimony in opposition

After submission of your email, you will receive a confirmation receipt.

Or, you may call City Recorder Angie Lanter at 503-324-5112, to register to provide testimony via telephone or Zoom Webinar. **Please call at least 24 hours prior to the public hearing.**

WORK SESSION

BUILDING PERMIT REVIEWS – INFORMATION ONLY (None)

VERBAL STAFF REPORTS AND UPDATES

3. Planning Project Updates

OTHER BUSINESS

ADJOURN



**PLANNING COMMISSION MEETING
May 26, 2020 at 6:30 pm
Banks City Hall, Banks, OR
MEETING MINUTES**

City Manager Becker **called the meeting to order** at 6:46 pm. The proceedings were recorded in digital format.

ROLL CALL

Present were: Katherine Brown, Jeremy Bench, Tammie Buck

Attending: Jolynn Becker, City Manager; Scot Siegel, City Planner; Lauren Scott, City Planner.

Absent: Chris Zechmann

APPROVAL OF MINUTES

1. Approval of minutes from the February 25, 2020 meeting.

Commissioner Bench moved to approve the Planning Commission meeting minutes from February 25, 2020 as presented. Katherine Brown seconded the motion, which passed unanimously.

PUBLIC COMMENT – There was none.

PUBLIC HEARINGS – There were none.

WORK SESSION

2. Select Chair and Vice Chair

Katherine Brown nominated Jeremy Bench for Chair. Tammie Buck seconded the nomination. Jeremy Bench was unanimously elected as Planning Commission Chair.

Jeremy Bench nominated Kathleen Brown for Vice Chair. Tammie Buck seconded the nomination. Kathleen Brown was unanimously elected as Planning Commission Vice Chair.

3. Banks TGM Task 2.5 Zoning Memo Discussion

City Manager Becker introduced Serah Breakstone, Otak

Serah Breakstone, Lead Public Planner, Otak, Inc. presented the Banks TGM Task 2.5 Zoning Ordinance Amendments Memorandum, (Page 6 of the agenda packet) noting the objectives of the project and highlighting key proposed code amendments that needed guidance from the Planning Commission and Code Committee. Her key additional comments included:

- She explained that smart growth principles involve the interface between transportation and land-use planning and were ways to approach growth and development in ways that accentuate the efficient use of existing resources, reduce sprawl, and emphasize the bicycle and pedestrian experience rather than focusing on vehicle travel.
- The City was looking to provide a full range of housing options, which was consistent with both a statewide trend to provide more housing options as well as House Bill 2001 passed in the State of Oregon in 2019. House Bill 2001 required more middle-housing accommodation in cities throughout the state.
- The sizes of the three proposed residential zone areas were currently unknown but would be determined as part of the project, possibly through a GIS exercise.
- Ms. Breakstone clarified that the new High Density Residential Zone could include Medium Density housing types, such as four-plexes, multi-family apartment buildings, and condominiums, but not single-family detached housing or duplexes.
- Determining the lot sizes in the residential zones, which zones] would be combined to go from 5 to 3 zones and which zones would be single-family or high density This issue would be addressed after the project moved from the preliminary phase and into the code amendments phase.
 - Otak would work with the City and its planners to combine residential zones in the most logical way and then present them to the Code Committee and the Planning Commission for feedback and recommendations for adjustments as needed. Several drafts were expected before a final code packet was produced.
- Three residential zones made sense if there was some pliability in the housing types between the zones. The intention to simplify and provide more flexibility was easier with three zones. Big urban sprawl was not a concern in Banks because it was small.
- The project team did not believe that combining the City's existing High-Density Single-Family (HDSF) and High-Density Multi-Family (HDMF) zones into a singular High-Density zone would cover more acreage than what those two zones currently covered.
 - Concern was expressed that combining the high densities could result in add fewer homes and more apartments. It made sense to combine both high densities, as long as not all of the new zone would be multi-family; flexibility should exist to have single family.
 - Ms. Breakstone responded that further discussion would include a lot of analysis and back and forth when writing the code amendments and changing the zoning maps. The project team understood turning the entire city into a high density zone was not desired.
- A downtown should look clean. Concerns about keeping storefronts maintained and presentable could be addressed by emphasizing durable materials that would last longer and look better. The zoning code could only do so much, so it would become a code enforcement issue.
 - The project team would be aware of the necessary balance between having design standards and not wanting to discourage development. Design standards should not be so cumbersome or expensive that no one would want to develop.
- Commercial design standards should make it easy for property/business owners to decide what they wanted and what would be easy to maintain. To keep maintenance and building expenses less expensive for business owners, a fund could be created that all businesses pay into to cover certain exterior maintenance items so the storefronts looked good.
- Design standard recommendations would combine modern design with the city's historical and rural elements to provide a more consistent aesthetic along Main Street compared to what currently existed which would result in a more cohesive area. The standards would help maintain the rural town character, while allowing for new commercial development that looked a bit more urban, but not out of scale.

- In neighborhoods, houses should not be too close together. Lennar was granted a variance that allowed a 4 ft side yard setback that would not be supported again. People did not come to Banks to live on top of each other; it was a rural community. With today's man made materials, quality neighborhoods did not need to be expensive to build.
- - Ms. Breakstone noted there were creative ways of configuring lots and house placement to achieve high density without feeling crowded. The goal was to provide more housing options for those living in and wanting to move to Banks. Affordability was also an issue and some were willing to sacrifice some extra space to live here. Housing options needed to be opened up for all families, income levels, lifestyles, etc.
 - Affordability was a key talking point, but it must be reasonable because the jobs were not in Banks; affordability had to make sense within the community. A young person working at Safeway somewhere would not likely live in Banks with a huge commute; they would want to be close to their job. All of that must be taken into consideration; Banks could not be all to all people.
 - Housing prices are high and quality was important. Concern was expressed about the materials used when houses were built so quickly because the home might not look good in a few years.
 - Regulating exterior materials for homes might be a consideration. Perhaps, a list of prohibited materials that were known to degrade quickly and require expensive maintenance should be codified because the exteriors were unlikely be kept up.
 - Ms. Breakstone assured details regarding durable material regulations for residential lots would be discussed during the next phase of planning under code amendments.
 - Staff previously held a meeting with the Code Committee where it was suggested that the downtown be placed at the south end of Main Street rather than the north end. Staff also asked for input regarding what to do with the mixed-use zone to the west of Main Street that was created as a part of the 2011 UGB Expansion.
 - Though there was parking congestion, the creation of a new downtown commercial zone at the north end of Main Street was intended for businesses to take advantage of the people that were already there and capture the economic energy coming to town. The zone would not necessarily add to the congestion, but create a walkable area for people to get out of their cars and shop. Having a parking structure was suggested.
 - Ms. Breakstone acknowledged there were parking implications, and the team would be looking at implementing recommendations from the City's Parking Management Study.
 - Bicyclists were also part of the economic energy and would want to places to gather and buy snacks, food, and drinks. Biking into a town and buying something to eat was a very popular activity.
 - The Code Committee discussed converting the R5 zone on Main Street into a mixed-use type zone would help connect the north and south commercial zones together.
 - The area between the commercial zones needed the most revitalization/beautification. Redeveloping the existing homes to smaller scale commercial shops with a residential space above would bring more energy.
 - Design standards could be implemented to apply to any new development or redevelopment to ensure a walkable main street with consistent storefront character on both sides of the street, though it could take time.
 - Thresholds would be used so a small redevelopment project would not likely trigger a lot of new design requirements. A significant redevelopment project, such as converting a home into a business with the living space above or in the back, would trigger new design elements.

Ms. Breakstone noted the Zoning Ordinance Amendments Memo, essentially the action plan for the code amendments, would be finalized by June 18th, so any additional comments, questions,

or considerations must be emailed to her by June 12th for them to be incorporated into the final draft.

- She announced a community open house was planned for mid-July, possibly via an online platform or in-person. The open house had been postponed in hopes of having an in-person format.
 - A virtual public workshop was also being developed that would be a partner to the open house to provide an additional opportunity for public input.
- The actual code amendments would be drafted after these public outreach events and presented to the Code Committee and Planning Commission for review and discussion.

BUILDING PERMIT REVIEWS – INFORMATION ONLY – None

VERBAL STAFF REPORTS AND UPDATES

4. Planning Project Updates

City Manager Becker stated a public hearing was tentatively set for June 30th. She noted Commissioners could come to City Hall for the meeting or attend via Zoom, adding she would set up a test Zoom meeting prior to the actual meeting to ensure everyone was comfortable using the program. She also wanted to ensure a quorum.

OTHER BUSINESS

ADJOURN: The Planning Commission meeting adjourned at 7:52 pm.

Submitted by: _____
Lauren Scott, City Planner



STAFF REPORT
 SPR-20-01

DATE: June 22, 2020 for the June 30, 2020 Planning Commission Meeting

REQUEST: H&J Properties, LLC requests a Site Plan Review to construct a 30-unit multi-family development.

APPLICANT: Greta Holmstrom, Ardor Consulting
 3296 NE 13th Place
 Hillsboro, OR 97124

PROPERTY: 42350 NW Banks Road Tax Assessor 2N331BB00600

ZONING: R-2.5 (Multi-Family Residential)

APPLICABLE CODE: Chapter 151.040 Permitted Uses in Residential Zoning Districts; 151.041 Development Standards; 151.060-151.078 Development Standards (General).

1. EXECUTIVE SUMMARY

H&J Properties has requested a site plan review approval to construct a 30-unit multi-family housing development at 42350 Banks Road. The development includes five three-story buildings that will contain six dwelling units each.

In 2019, a request was submitted to approve ORD 2019-05-01 Comprehensive Plan Map Amendment to change the plan designation of the property from Single-Family Residential (R5) to Multi-family (R2.5) to allow for a future development of up to 30 multi-family units; and ZC 19-01, Zoning Map Amendment to change the zoning of the property from Single-Family Residential (R5) to Multi-family (R2.5) to allow for a future development of up to 30 multi-family units at this location. The plan amendment and zone change were conditioned to allow for an application to be submitted for future development of a maximum of 30 multi-family dwelling units. Approval of ORD 2019-05-01 (Attachment C) and ZC 19-01 did not include approval to develop the property and so this site plan review is necessary to proceed with development. The Planning Commission and City Council Packets for the plan amendment and zone change are available for reference at City Hall.

The comprehensive plan map amendment and zone change were approved by the Planning Commission on April 30, 2019 and by the City Council on May 14, 2019. The Planning Commission and Council found that the map amendment and zone change were consistent with the Banks Development Code, the policies of the Banks Comprehensive Plan, and the statewide planning goals as it provided additional housing variety and met the documented need for multi-family housing in Banks as no new multi-family units have been added to the housing supply

since 2011 (Banks UGB Expansion 2011 Residential Land Needs Analysis, ORD. 110.30). The zone change and map amendment were also found to be compatible with surrounding uses and the existing transportation system.

Utilities are available to the site to serve the proposed use. Resolution 2018-19 declared a moratorium on new development in the City of Banks due to a documented shortage of municipal water. However, due to the importance of certain development types as critical for the City's economy and for affordable housing, the City Council included an exception to the moratorium that applies to development applications for multi-family housing that propose a minimum of 25 dwelling units and a maximum of 40 dwelling units and incorporate water conservation measures. The application for the zone change and comprehensive plan amendment was also submitted prior to the moratorium going into effect. As such, the proposed development is not subject to the water moratorium. Sanitary sewer service is available in NW Banks Road. Stormwater services are provided by Clean Water Services, the proposed development is required to comply with CWS standards. The City Engineer has reviewed the application and found it to be consistent with Public Works Design Standards.

The site is within the Banks Public School District. As discussed in a comment from Jacob Pence, Banks High School Principal, the Banks Public School District has capacity and can adequately serve the proposed development. (See Attachment B) Additionally, State law (ORS 197.505 to 197.540) explicitly prohibits local government's ability to restrict development based on school capacity.

Parking will be located onsite and consist of 60 parking spaces, 2 spaces for each unit as required by the Banks Code. The TIA submitted with the comprehensive plan map amendment and zone change demonstrated the transportation system has adequate capacity to service the anticipated development. These findings were confirmed by the City's Traffic Engineer, who found that the proposed land use (specifically for the 30 multi-family units) can be adequately served by NW Banks Road without significantly impacting traffic safety or operations. No comments were received from Washington County regarding transportation impacts.

Public notice was issued for this project. At the time of this staff report, one written comment has been received in response to the public notice and is attached as Attachment C. The City Engineer and CWS provided comments on the application. Memos from both parties are attached as Attachment B. Conditions of approval from the City Engineer and CWS are included in the recommendation section of this report.

It is recommended that the Planning Commission approve the site plan review, as submitted, along with the proposed conditions of approval.

2. SITE DESCRIPTION

The property is located on NW Banks Road, approximately 400 feet east of the intersection of NW Banks Road and NW Main Street. The property is generally located in an area of mixed uses and shown on the map below. The site is surrounded by single family dwellings as well as a lumber mill. Directly west of the site is the historic downtown core of Banks, including retail, industrial, office and regional park uses.

The intent and purpose of each residential zoning district is described as follows:

(D) Multi-Family Residential (R2.5) District is intended to provide multi-family dwellings in a medium density residential environment.

Table 151.040-A Land Uses Permitted in Residential Zoning District	
Land Use	R-2.5
Multi-Family Housing	Permitted

FINDING: Multi-family housing is listed as a permitted use in the R-2.5 zoning district subject to site development review.

151.041 Development Standards

(A) The development standards in Table 151.041-A apply to all uses, structures, buildings, and development allowed in the residential districts.

Table 151.041-A Development Standards in Residential Zoning Districts		
Development Standard	R-2.5 Zone	Proposed
Minimum Density (DU/Net Acre)	17.42	30
Minimum Lot Area (square feet)	5,000	~42,688
Minimum Lot Width (feet)	50	140
Minimum Lot Depth (feet)	100	209-314
Maximum Building Coverage (%)	50	28
<i>Setback Requirements</i>		
Minimum Front Yard (feet)	20	20
Minimum Side Yard (feet)	5	5
Minimum Rear Yard (feet)	15	15
Maximum Building Height (feet)	30	30

FINDING: As shown above, the proposed development meets all the development standards for the R-2.5 zone.

(E) Landscaping standards. The following landscaping standards apply to all new developments located in the HDSF, R2.5 and HDMF Districts. Additional landscaping standards as applicable are specified in §§ 151.073 and 151.074.

(1) Landscaping plan required. A landscape plan is required for submittal and approval for all new developments cited in the residential districts above. Submittal of a landscape plan drawn to scale shall show information and conform to requirements as follows:

(a) The location and height of existing and proposed fences, buffering or screening materials.

(b) The location, size, and type of existing trees having a 6-inch or greater diameter measured 4.5 feet above ground.

(c) Plant selection shall not include invasive species and include a combination of deciduous and evergreen trees, shrubs, and ground covers to be used for all planted areas, the selection of which shall provide, as applicable, erosion

control, visual interest, buffering, privacy, open space, pathway identification, shading, and wind buffering. When new vegetation is planted, soils shall be amended, as necessary, to allow for healthy plant growth.

1. Trees shall have a minimum diameter or caliper measured 4.5 feet above ground of 2 inches or greater at time of planting.

2. Shrubs shall be planted from 5 gallon containers or larger.

3. All landscaped areas that are not planted with trees and shrubs shall have ground cover plants that are sized and spaced as follows: a minimum of 1 plant per 12 inches on center in triangular spacing, or other planting pattern that is designed to achieve 75% coverage of the area not covered by shrubs and tree plantings.

4. Non-plant ground covers such as bark dust, chips, aggregate, or other non-plant ground covers may be used and shall be confined to areas underneath plants. Non-plant ground covers shall not be a substitute for ground cover plants.

(d) Method of irrigation for proposed trees and plant materials.

(e) An arborist's report may be required for sites with mature trees to be preserved and protected during construction.

(f) Other information as deemed appropriate by the City Planner.

(2) Landscape area standard. The minimum area of required landscaping shall be 15% of the total site area.

FINDING: A landscape plan has been submitted with the application and shows the required elements. The plants selected include a variety of trees, shrubs, and grass and provide screening along the perimeter of the site as well as visual interest in front of the buildings and parking areas. No mature trees will be preserved during construction as the site will be developed and re-landscaped. Approximately 30% of the site will be landscaped.

151.061 ACCESS

Except as modified in this section, every lot shall abut a street, other than an alley, for at least 20 feet.

FINDING: The lot abuts Banks Road for approximately 140 feet.

151.065 VISIBILITY CLEARANCE

(B) (1) In districts where front yards are required, each leg of the vision clearance triangle shall be a minimum of 20 feet in length.

(2) Vision clearance triangles shall be kept free of all visual obstructions from 2 and ½ feet to 9 feet above the curb line. Where curbs are absent, the crown of adjacent streets shall be used as the point of reference.

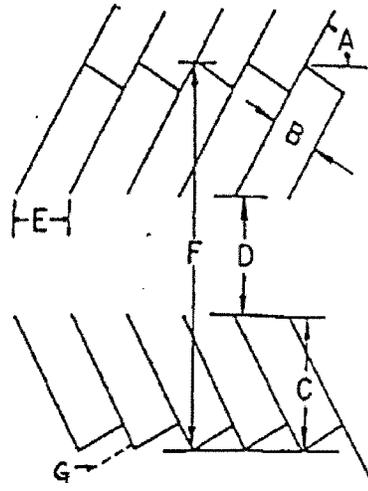
FINDING: A vision clearance triangle with legs measuring 20 feet each is proposed at the access driveway to the site. As shown on the landscape plan, no visual obstructions will occur within the vision clearance triangle from 2 ½ feet to 9 feet above the curb.

151.069 DESIGN STANDARDS

(A) Generally

(2) All off-street parking lots shall be designed in accordance with city standards for stall and aisles as set forth in the below drawing and table.

	a	b	c	d	e	f	g
45°	8.5'	17.5'	13.0'	12.0'	48.0'	2.0'	
	9.0	17.5	12.0	12.7	47.2	2.0	
	9.5	17.5	11.0	13.4	46.0	2.0	
	10.0	17.5	11.0	14.1	46.0	2.0	
60°	8.5'	19.0'	18.0'	9.8	56.0'	2.5'	
	9.0	19.0	16.0	10.4	54.0	2.5	
	9.5	19.0	15.0	11.0	53.0	2.5	
	10.0	19.0	14.0	11.6	52.0	2.5	
75°	8.5'	19.5'	25.5'	8.8'	64.0'	2.5'	
	9.0	19.5	23.0	9.3	62.0	2.5	
	9.5	19.5	22.0	9.8	61.0	2.5	
	10.0	19.5	21.0	10.3	60.0	2.5	
90°	8.5'	18.5'	28.0'	8.5'	65.0'	3.0	
	9.0	18.5	26.0	9.0	63.0	3.0	
	9.5	18.5	25.0	9.5	62.0	3.0	
	10.0	18.5	24.0	10.0	61.0	3.0	



- A Parking Angle
- B Stall Width
- C Stall Depth (no bumper overhang)
- D Aisle Width Between Stall Lines (5)
- E Stall Width Parallel to Aisle
- F Module Width (no bumper overhang)
- G Bumper Overhang

FINDING: All parking stalls onsite will be at 90-degree angles, measure 8 ½ feet wide by 18 ½ feet long and have a 28-foot drive aisle.

(5) The minimum aisle width for 2-way traffic and for emergency vehicle operations area is 24 feet. The minimum aisle width for emergency vehicle access (1-way traffic) is 20 feet.

FINDING: The driveway width is 24 feet and there is a 20-foot fire lane with a turnaround in the parking area. No comments were received from police or fire on the proposed development and emergency vehicle access.

(a) Parking space plans. No building permit shall be issued until plans are presented that show property that is and will remain available exclusively for off-street parking. The subsequent use of property for which the permit is issued shall be conditional upon the unqualified continuance and availability of the amount of parking space required by this chapter. Reduction of the amount of required off-street parking shall be considered a violation of this chapter. Parking plans shall be drawn to scale and shall delineate parking spaces, drives and aisles, bumper rails, and other features required by this chapter.

FINDING: The application included a parking plan to scale that delineated parking spaces, drives and aisles, bumper rails, landscape islands, and emergency access.

(b) Parking space location. Off-street parking facilities may not be located in a required front yard or street side yard setback area and shall be located as herein specified. Where a distance is specified, the distance shall be the distance measured from the nearest point of the parking facility to the nearest point of the building, which the facility is required to serve.

2. For rooming houses and apartment houses - within 100 feet of the building they are required to serve.

3. For uses other than those specified above - within 200 feet of the building they are required to serve.

FINDING: No parking stalls are located in the 20-foot front yard setback and are within 100 feet of the buildings they will serve.

151.071 BUMPER RAILS

All required off-street parking spaces, except those for single-family residences, must be equipped with bumper rails located in such a manner as to prevent vehicles from striking landscaping, fences, buildings, or walls, or from overhanging their spaces in a manner which might obstruct aisles, walks, or other spaces or property.

FINDING: As shown on the site plan, each parking space will have a bumper to prevent vehicles from striking the landscaping, fences, buildings or walls and prevent them from overhanging their spaces which could obstruct walkways and aisles.

151.072 ACCESS AND MANEUVERING

(A) Groups or more than 4 off-street parking spaces shall be served by a driveway or aisle so that no backing movements or other maneuvering within a street other than an alley will be required.

FINDING: The site would contain more than 4 off-street parking spaces and would be served by a 24-foot wide two-way driveway. No backing movements or other maneuvering within NW Banks Rd would be required.

151.073 LANDSCAPING

(A) All parking lots designed to accommodate 5 or more vehicles shall be developed with at least 5% of any uncovered parking area in plantings or other landscaping as approved by the (City Council) City Planner.

(B) The landscaping or plantings shall be located in defined planting areas evenly distributed throughout the parking area.

(C) Required planting areas shall have a width of not less than 3 feet.

FINDING: 1,001 square feet of landscaping would be required in the parking area to meet the 5% requirement. The proposed development will include 1,896 square feet of parking area landscaping. The landscaped areas are evenly distributed throughout the parking area around the perimeters of the parking area and in landscape islands. The landscape islands have a width of 4 feet.

151.074 ENCLOSURE AND SCREENING

(A) Any portion of an off-street parking area, other than that for a single-family residence, which adjoins a residential district shall be screened from the adjoining residential area by a sight-obscuring fence having a minimum height of 6 feet, and/or by a dense evergreen landscape screen which attains a height of at least 6 feet within 2 growing seasons.

(B) Any off-street parking area, other than that for a single-family residence, which adjoins a public street shall be fenced with a railing, rail fence, evergreen hedge, wall, or other continuous barricade of

harmonious material and design at least 8 inches and no more than 42 inches in height, except for necessary access drives or aisles.

FINDING: The parking area will be screened from the adjacent residential properties by a sight obscuring fence and landscaping will screen the parking area from NW Banks Road.

151.075 NUMBER OF REQUIRED SPACES

(A) Generally. Required off-street parking spaces are as follows. Where more than 1 standards applies, the greater number of spaces shall be required.

(B) Specifically.

(1) Residential Structures – 2 spaces for each dwelling unit

FINDING: The development is proposing 30 units and 60 parking spaces, meeting the requirement.

151.079 CITY MAY REQUIRE TRAFFIC IMPACT ANALYSIS

(A) The city may require a traffic impact analysis (TIA) prepared by a qualified professional to determine access, circulation, and other transportation requirements in conformance with TIA results. TIA's shall be required for all proposed development that will generate more than 100 AM or PM peak hour trips per day or 600 Average Daily Trips. Trip calculation shall be based upon Trip Generation, 8th Edition (2008) published by the Institute of Transportation Engineers.

FINDING: A TIA was prepared by Global Transportation Engineering for the comprehensive plan map amendment and zone change and analyzed a development of 30 multi-family units. The analysis demonstrated that the transportation system has adequate capacity to serve the anticipated development. As explained in the TIA, the existing street system is sufficient to accommodate the maximum-permitted 30 additional multi-family units and the proposal will not cause any intersections to drop below minimum levels of service. The City's Traffic Engineer DKS and Associates reviewed the TIA and no objections were raised.

5. RECOMMENDATION

Staff recommends the Planning Commission grant approval of the proposed multi-family housing development with the following conditions.

**6. CONDITIONS OF APPROVAL
City of Banks**

1. The Applicant shall obtain the necessary permits from the Washington County Department of Building Services and submit evidence to the City of Banks prior to commencement of work.
2. The Applicant shall make payment of all City permit fees as agreed upon in the signed City of Banks Land Use Application.
3. The Applicant shall prepare and submit a water demand estimate to the City Engineer for review and approval.
4. All work within the right of way shall conform to City and County Road Design Standards.

Clean Water Services (CWS)

PRIOR TO ANY WORK ON THE SITE:

1. A CWS Site Development Permit must be obtained. The application must be in accordance with the requirements of the Design and Construction Standards, Resolution, and Order No. 19-5 as amended by R&O 19-22, or prior standards as meeting the implementation policy of R&O. The application must include:
 - a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.
 - b. Detailing grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans. If site area and any offsite improvements required for this development exceed one-acre of disturbance, the project will be required to obtain a 1200-CN Erosion Control Permit.
 - c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
 - d. Provisions for water quality in accordance with the requirements of the above-named design standards. Water Quality is required for all new development and redevelopment areas per R&O 19-5, Section 4.04. Access shall be provided for maintenance of facility per R&O 19-05, Section 4.07.6.
 - e. If use of an existing offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans. The plans must show the location, condition, capacity to treat the particular site, and any additional improvements and/or upgrades needed to utilize that facility.
 - f. If a private lot LIDA system is proposed, the system must comply with current CWS Design and Construction Standards. A private maintenance agreement for the proposed private lot LIDA system needs to be provided to the City of Banks for review and acceptance.
 - g. All existing and proposed easements must be shown on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City of Banks.
 - h. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.
2. Prior to issuance of any connection permits, CWS must approve final construction plans and drainage calculations.

PLANNING COMMISSION ACTION

After hearing the applicant's presentation and any public testimony, including any rebuttal, the Planning Commission will close the hearing and deliberate. The Commission has three options: Based on the relevant criteria, you may approve or deny the application, or approve it with modifications and/or conditions. The following motion is suggested:

“I move to recommend approval of SPR 20-01 based on the findings and subject to the conditions of approval contained in the staff report”

The staff report may be amended during the course of the hearing. A motion to approve should itemize any modified or additional conditions of approval.

Respectfully submitted this 22nd day of June, 2020:
Lauren Scott, Contract Planner, City of Banks
Reviewed by Jolynn Becker, City Manager
Daniel Kearns, City Attorney

*Banks Planning Commission Staff Report
June 23, 2020
Trailhead Apartments SPR 20-01*

Attachments:

- A. Applicant Materials (Application Form, Narrative, Civil Drawings, Architectural Drawings, Landscape Plan, Lighting Plan)
- B. Agency Responses
- C. Ordinance 2019-05-01 and Staff Report adopted by reference

ATTACHMENT A
APPLICATION MATERIALS

LAND USE APPLICATION



APPLICATION FOR:

Permits

- Fence Permit
- Sign Permit
- Mechanical Permit

Land Division

- Subdivision
- Partition
- Tentative Plat

Zoning Check Review

Site Plan Review

Other: _____

Comprehensive Plan Amendment

- Text
- Map

Property Line Adjustment

Conditional Use

Zoning Ordinance Amendment

- Text
- Map

Final Plat

Variance

Applicant:

Name Greta Holmstrom / Ardor Consulting
 Address 3296 NE 13th Pl
 City Hillsboro
 State OR Zip 97124
 Phone 360-721-5745
 Fax _____
 Email gholmstrom@yahoo.com

Property Description:

Site Address 42350 NW Banks Rd
 Map & Tax Lot # 2N331B00600
 (Please attach legal description)
 Total Acres or Square Feet: 0.98
 Acres 0.98 Sq. Feet 42688

Property Owner:

Name H&J Properties
 Address PO BOX 555
 City Banks
 State OR Zip 97106
 Phone 503-324-5220
 Fax _____
 Email _____

Property Use Description:

Existing Land Use Single family residential
 Existing Zoning R-2.5
 Proposed Zoning (if applicable) N/A
 Proposed Use multi-family residential

Trailhead Apartments

Site Plan Review



Supporting Materials

Signed Application

Narrative

Site Plans

Architectural Plans

Landscape Plans

Lighting Plans

Legal Description and Title Report

Mailing Labels

CWS Service Provider Letter

Pre-Application Conference Notes

Storm Report

Project Overview

The applicant, H&J Properties LLC, proposes a 30-unit multi-family development at a property located at 42350 NW Banks Road. The property is classified in the Comprehensive Plan as Multi-Family Residential with a zoning designation of R-2.5.

The development will include five three-story buildings that will each include six dwelling units. A central access aisle will serve as a fire turnaround and park aisle. Nearly 30% of the site is open space with a variety of landscaping to serve the community.

As shown in the following response to approval criteria, all requirements for approving the site plan are met.

Approval Criteria

151.041 DEVELOPMENT STANDARDS

A. The following development standards apply in the R2.5 Zoning District:

Standard	Requirement	Proposed
<i>Minimum Density</i>	<i>17.42</i>	30 units
<i>Minimum Lot Area</i>	<i>5,000 square feet</i>	0.98 acres
<i>Minimum Lot Width</i>	<i>50 feet</i>	140 feet
Minimum Lot Depth	<i>100 feet</i>	209 feet to 314 feet
Maximum Building Coverage	<i>50%</i>	28%
Minimum Front Yard Setback	<i>20 feet</i>	20 feet
Minimum Side Yard Setback	<i>5 feet</i>	5 feet
Minimum Street Side Yard Setback	<i>15 feet</i>	n/a
Minimum Rear Yard	<i>15 feet</i>	15 feet
Maximum Building Height	<i>30 feet</i>	30 feet

E. Landscaping standard. The following landscaping standards apply to all new developments located in the R2.5 district. Submittal of a landscape plan drawn to scale shall show information and conform to requirements as follows:

1. Landscaping plan required. A landscape plan is required for submittal and approval for all new developments cited in the residential districts as specified. A landscape plan drawn to scale shall show information and conform to requirements as follows:
 - (a) The location and height of existing and proposed fences, buffering or screening materials.
 - (b) The location, size, and type of existing trees having a 6-inch or greater diameter measured 4.5 feet above ground.
 - (c) Plant selection shall not include invasive species and include a combination of deciduous and evergreen trees, shrubs, and ground covers to be used for all planted areas, the selection of which shall provide, as applicable, erosion control, visual interest, buffering, privacy, open space, pathway identification, shading and wind buffering. When new vegetation is planted, soils shall be amended as necessary, to allow for healthy plant growth.
 - Trees shall have a minimum diameter or caliper measured 4.5 feet above ground of 2 inches or greater at the time of planting.
 - Shrubs shall be planted from 5 gallon containers or larger.
 - All landscaped areas that are not planted with trees and shrubs shall have ground cover plants that are sized and spaced as follows: a minimum of 1 plant per 12 inches on center in triangular spacing, or other planting pattern that is designed to achieve 75% coverage of the area not covered by shrubs and tree plantings
 - Non-plant groundcovers such as bark dust, chips, aggregate, or other non-plant ground covers may be used and shall be confined to areas underneath plants. Non-plant ground covers shall not be a substitute for ground cover plants.
 - (d) Method of irrigation for proposed trees and plant materials.
 - (e) An arborist report may be required for sites with mature trees to be preserved and protected during constructed.
 - (f) Other information as deemed appropriate by the City Planner.
2. Landscape Area Standard. The minimum area of required landscaping shall be 15% of the total site area.

RESPONSE:

A landscape plan is provided in accordance with the above standards. As shown on the landscape plan, a variety of plant materials have been chosen to provide visual interest, buffering, and open space. Approximately 30% of the site will be landscaped, greatly exceeding the landscaping requirement.

151.060 MINIMUM LOT AREA AND SETBACK REQUIREMENTS

No lot area, yard, or other open space existing on or after the effective date of this chapter shall be reduced below the minimum required for it by this chapter, and no lot area, yard, or other open space which is required by this chapter for 1 use shall be used as the required lot area, yard, or other open space for another use.

RESPONSE:

No lot area or setback reduction is requested.

151.061 ACCESS

Except as modified in this section, every lot shall abut a street, other than an alley, for at least 20 feet.

RESPONSE:

The overall site abuts NW Banks Road for greater than 20 feet.

151.065.B VISION CLEARANCE

In districts where front yards are required, each leg of the vision clearance triangle shall be a minimum of 20 feet in length.

RESPONSE:

A vision clearance triangle with 20' legs is provided in the front yard at the driveway entrance.

151.073 LANDSCAPING (PARKING)

All parking lots designed to accommodate 5 or more vehicles shall be developed with at least 5% of any uncovered parking area in planting areas.

RESPONSE:

A minimum of 1,001 square feet of landscaping would be required to meet the minimum 5% of parking area landscaping requirement. The applicant proposes 1,896 square feet of parking lot landscaping, exceeding this requirement. The landscaping is distributed throughout the parking lot in areas greater than 3 feet in width.

151.074 ENCLOSURE AND SCREENING (PARKING)

(A) Any portion of an off-street parking area, other than that for a single-family residence, which adjoins a residential district shall be screened from the adjoining residential area by a sight-obscuring fence having a minimum height of 6 feet, and/or by a dense evergreen landscape screen which attains a height of at least 6 feet.

(B) Any off-street parking area, other than that for a single-family residence, which adjoins a public street shall be fenced with a railing, rail fence, evergreen hedge, wall, or barricade of harmonious material and design at least 8 inches and no more than 42 inches in height, except for necessary access drives or aisles.

RESPONSE:

The parking area will be screened from adjacent residential property by a sight-obscuring fence. Landscaping will screen the parking from NW Banks Road.

151.075 NUMBER OF REQUIRED SPACES

(B)(1) Residential structure – 2 spaces for each dwelling unit

RESPONSE:

The applicant proposes 30 dwelling units and 60 parking spaces.

Conclusion

The proposed development meets all review criteria established by City of Banks. Therefore, approval of the application is requested.

LAND USE PLANS FOR TRAILHEAD APARTMENTS

PREPARED FOR
FIVE STAR BUILDERS, INC.

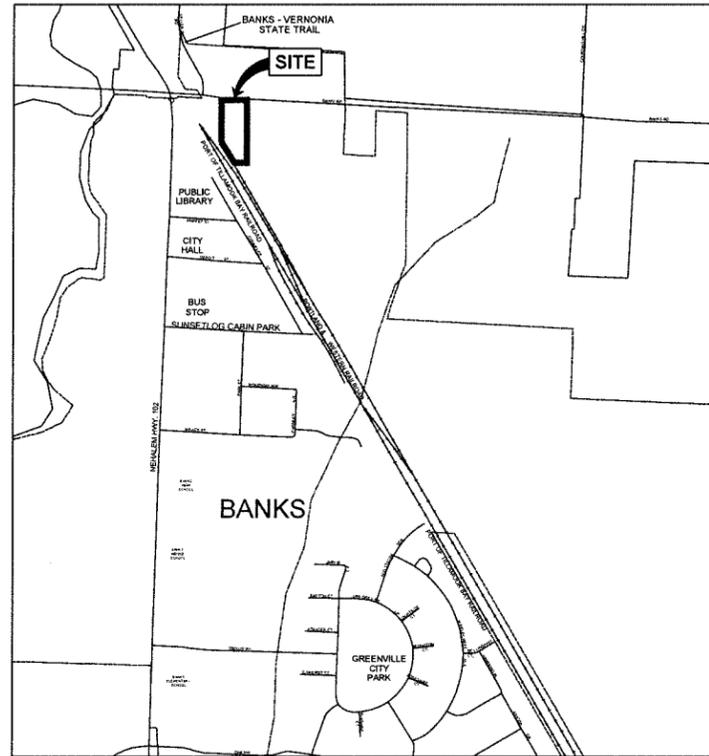


PUBLISH DATE
2020-03-04

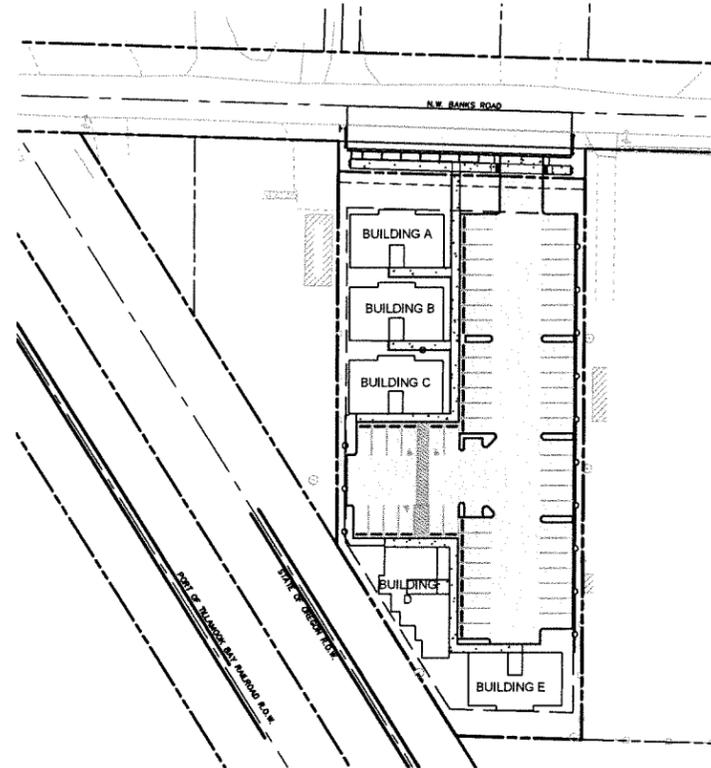
ISSUED FOR
LAND USE
REVISIONS

SHEET LIST TABLE

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	SITE PLAN
C230	GRADING PLAN
C300	COMPOSITE UTILITY PLAN



VICINITY MAP
NOT TO SCALE



SITE MAP
SCALE: 1" = 100'



SITE INFORMATION

SITE ADDRESS 42350 NW BANKS RD BANKS, OR 97106	TAX LOT(S) 2N331BB 600
JURISDICTION CITY OF BANKS	FLOOD HAZARD MAP NUMBER: 41067C0301E ZONE "X" (UNSHADED)
ZONING R2.5	LOCATION NW 1/4 BW 1/4 Section 31 T2N R3W, W.M. WASHINGTON COUNTY, OREGON

UTILITIES & SERVICES

SITE WORK & ROADS WASHINGTON COUNTY - LAND USE AND TRANSPORTATION 155 1ST AVENUE HILLSBORO, OR 97124 PHONE: (503) 846-4412	WATER CITY OF BANKS 13680 NW MAIN STREET BANKS, OR 97106 PHONE: (503) 324-5112
GAS NW NATURAL 220 NW 2ND AVENUE PORTLAND, OR PHONE: (503) 226-4211 EMERGENCY: (800) 882-3377	POWER PORTLAND GENERAL ELECTRIC 121 SW SALMON ST. PORTLAND, OR 97204 CONTACT: SERVICE COORDINATOR PHONE: (503) 323-6700
FIRE BANKS FIRE DEPARTMENT 13680 NW MAIN STREET BANKS, OR 97106 PHONE: (503) 324-6262	POLICE & PARKS CITY OF BANKS 13680 NW MAIN STREET BANKS, OR 97106 PHONE: (503) 324-5112
STORM & SEWER CLEAN WATER SERVICES 2550 SW HILLSBORO HWY. HILLSBORO, OR 97123 PHONE: (503)881-3600	

PROJECT TEAM

OWNER / APPLICANT FIVE STAR BUILDERS 13981 N MAIN ST PO BOX 555 BANKS, OR 97106 CONTACT: GREG HENES PHONE: 503-324-5220 EMAIL: greg@five-star-builders.com	CIVIL ENGINEER 3J CONSULTING, INC. 9600 SW NIMBUS AVENUE, SUITE 100 BEAVERTON, OR 97008 CONTACT: LAURA OXSEN, PE PHONE: (503) 946-9365 EMAIL: laura.oxsen@3j-consulting.com
LAND SURVEYOR SFA DESIGN GROUP, LLC 9020 SW WASHINGTON SQAURE DR SUITE 350 PORTLAND, OR 97223 PHONE: (503) 841-6311	PLANNER ARDOR CONSULTING, LLC CONTACT: GRETA HOLMSTROM PHONE: (360) 721-5745 EMAIL: gholmstrom@yahoo.com
ARCHITECT, MECHANICAL / ELECTRICAL / PLUMBING KWW ARCHITECTS 13891 N MAIN STREET PO BOX 28 BANKS, OR 97106 CONTACT: KERRY VANDERZANDEN PHONE: (503) 324-5220 EMAIL: kerry@kwwarch.com	

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THESE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

ELEVATION DATUM AND BASIS OF BEARINGS

ELEVATIONS AND CONTOURS ARE BASED ON WASHINGTON COUNTY BENCHMARK NUMBER 274 WITH ELEVATION 207.529 ON THE NGVD 29 DATUM. THE BENCHMARK IS A DISK INSCRIBED "D 96 1934" LOCATED IN NORTH BANKS, 100 FEET EAST OF THE INTERSECTION OF BANKS RD, CEDAR CANYON RD, SELLERS RD, AND HWY 47. 4" DOWN IN 4" PVC SLEEVE IN GRAVEL DRIVEWAY, 30' SOUTH OF PAINTED CENTERLINE OF BANKS RD, 31' WEST OF NORTHWEST CORNER OF HOUSE #42400, 26.5' SOUTH OF SOUTH EDGE OF PAVEMENT OF BANKS RD.

COVER SHEET
TRAIL HEAD APARTMENTS

FIVE STAR BUILDERS, INC.
BANKS, OR

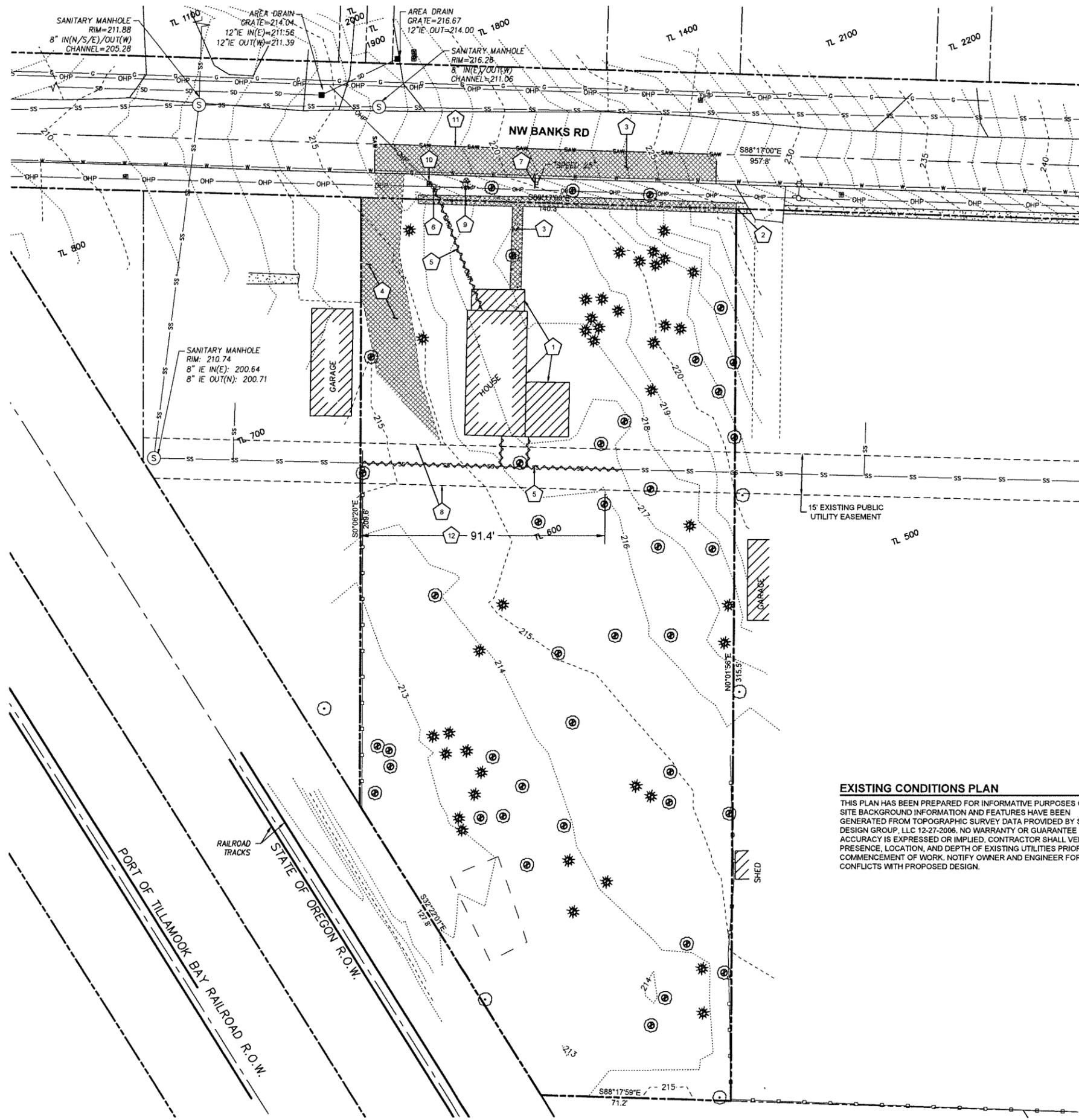


PROJECT INFORMATION
3J PROJECT # | 19565
TAX LOT(S) | 00600
LAND USE # | —
DESIGNED BY | JTE, LEO, KDO
CHECKED BY | BKF

SHEET NUMBER

C000

P:\1965-BANKS APARTMENTS\CAD\CIV\1965-EXISTING CONDITIONS.DWG



LEGEND

- EXISTING PROPERTY BOUNDARY
EXISTING RIGHT OF WAY
EXISTING CENTERLINE
EXISTING LOT LINE
EXISTING EASEMENT LINE
EXISTING BUILDING
EXISTING ASPHALT
EXISTING ASPHALT TO BE REMOVED
EXISTING CONCRETE
EXISTING CONCRETE TO BE REMOVED
EXISTING GRAVEL
EXISTING GRAVEL TO BE REMOVED
EXISTING FENCE
EXISTING SIGN
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE
EXISTING SANITARY SEWER PIPE
EXISTING SANITARY SEWER MANHOLE
EXISTING STORM PIPE
EXISTING STORM POND
EXISTING STORM CATCH BASIN
EXISTING OVERHEAD POWER
EXISTING GAS LINE
EXISTING UTILITY POLE
EXISTING UTILITY POLE WITH LUMINAIRE
EXISTING WATER MAIN
EXISTING WATER METER
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
UTILITY LINE REMOVAL
SAWCUT LINE
TREE TO BE REMOVED

DEMOLITION KEY NOTES

- 1 DEMOLISH EXISTING BUILDING, FOUNDATION, AND ALL ASSOCIATED UTILITY CONNECTIONS.
2 SAWCUT CONCRETE PAVEMENT AT NEAREST JOINT TO FULL SLAB DEPTH.
3 REMOVE AND DISPOSE OF EXISTING CONCRETE/ASPHALT WITHIN LIMITS SHOWN.
4 REMOVE AND DISPOSE OF EXISTING GRAVEL DRIVEWAY WITHIN LIMITS SHOWN.
5 REMOVE EXISTING UTILITY LINE TO LIMITS SHOWN AND DISPOSE OFF SITE.
6 RELOCATE EXISTING POWER POLE. COORDINATE WITH PORTLAND GENERAL ELECTRIC PRIOR TO RELOCATION.
7 RELOCATE EXISTING STREET SIGN.
8 ABANDON EXISTING UTILITY EASEMENT.
9 RELOCATE EXISTING FIRE HYDRANT. COORDINATE WITH CITY OF BANKS WATER AND FIRE DEPARTMENTS PRIOR TO RELOCATION.
10 REMOVE EXISTING WATER METER. COORDINATE WITH CITY OF BANKS WATER DEPARTMENT PRIOR TO REMOVAL.
11 SAWCUT ASPHALT PAVEMENT AT ROADWAY CENTERLINE AS SHOWN TO FULL EXISTING PAVEMENT DEPTH.
12 ABANDON IN PLACE EXISTING PUBLIC UTILITY EASEMENT TO LIMITS SHOWN.

ELEVATION DATUM

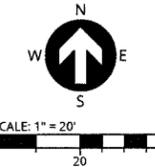
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FLOOD HAZARD NOTE

THE SITE IS LOCATED WITHIN ZONE X (UN-SHADED) PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 41067C0301E. FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

EXISTING CONDITIONS PLAN

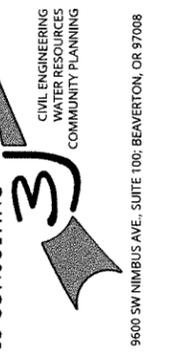
THIS PLAN HAS BEEN PREPARED FOR INFORMATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM TOPOGRAPHIC SURVEY DATA PROVIDED BY SFA DESIGN GROUP, LLC 12-27-2006. NO WARRANTY OR GUARANTEE OF ACCURACY IS EXPRESSED OR IMPLIED. CONTRACTOR SHALL VERIFY PRESENCE, LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER AND ENGINEER FOR ANY CONFLICTS WITH PROPOSED DESIGN.



PUBLISH DATE 2020-03-04
ISSUED FOR LAND USE REVISIONS

EXISTING CONDITIONS & DEMOLITION PLAN
TRAIL HEAD APARTMENTS

FIVE STAR BUILDERS, INC.
BANKS, OR



PROJECT INFORMATION
3J PROJECT # | 1965
TAX LOT(S) | 00600
LAND USE # | -
DESIGNED BY | JTE, LEO, KDO
CHECKED BY | BKF

SHEET NUMBER C100



SITE STATISTICS	
ZONE	R2.5
FRONT YARD SETBACK	20'
SIDE YARD SETBACK	5'
REAR YARD SETBACK	15'
MINIMUM PARKING SPACES	60
PROPOSED PARKING SPACES	60
MINIMUM BUILDING TO BUILDING SETBACK	10'
PROPOSED BUILDING TO BUILDING SETBACK	11'
MINIMUM LANDSCAPE AREA WITHIN PARKING AREA	5% OR 1,001 SF
PROPOSED LANDSCAPE AREA WITHIN PARKING AREA	1,896 SF

- LEGEND**
- PROPOSED EASEMENT LINE
 - PROPOSED RIGHT OF WAY
 - PROPOSED SETBACK LINE
 - PROPOSED CURB FACE
 - PROPOSED CURB BACK
 - PROPOSED LIP OF GUTTER
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED CONCRETE SCORING
 - PROPOSED GUARD RAIL
 - PROPOSED RETAINING WALL
 - PED --- PEDESTRIAN CIRCULATION
 - CAR --- CAR CIRCULATION
 - PROPOSED STRIPING
 - ADA PARKING SYMBOL
 - PROPOSED WHEEL STOP
 - PROPOSED BARRICADE

- CONSTRUCTION KEY NOTES**
- 1 PROPOSED MONOLITHIC SIDEWALK AND THICKENED EDGE (30" MAX HEIGHT).
 - 2 PROPOSED MONOLITHIC SIDEWALK AND THICKENED EDGE WITH ATTACHED SAFETY FENCE (33" MAX HEIGHT).
 - 3 RELOCATED STREET SIGN.
 - 4 PROPOSED ASPHALT PAVING.
 - 5 PROPOSED STANDARD CURB AND GUTTER.
 - 6 PROPOSED CONCRETE DRIVEWAY.
 - 7 PROPOSED CONCRETE SIDEWALK.
 - 8 PROPOSED STANDARD CURB.
 - 9 PROPOSED 6' TALL FENCE.
 - 10 PROPOSED TRASH ENCLOSURE.
 - 11 PROPOSED WHEEL STOP.
 - 12 PROPOSED ADA PARKING SIGN.
 - 13 PROPOSED FOG STRIPE.
 - 14 PROPOSED STREET BARRICADE.
 - 15 PROPOSED SIDEWALK BARRICADE.
 - 16 PROPOSED TALL CURB (18" MAX HEIGHT).

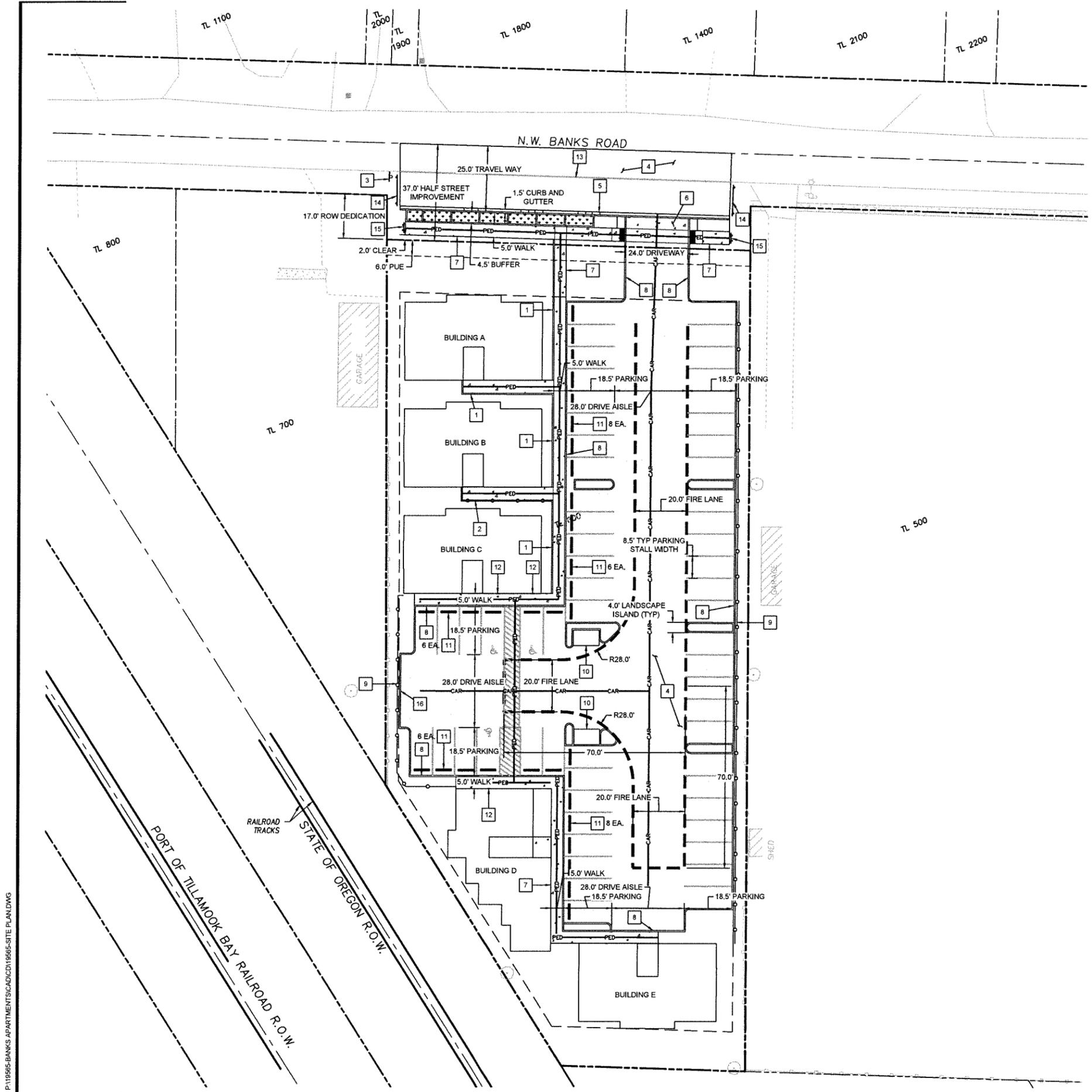
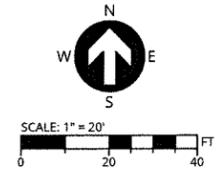


PUBLISH DATE
2020-03-04
ISSUED FOR
LAND USE
REVISIONS

SITE PLAN
TRAIL HEAD APARTMENTS
 FIVE STAR BUILDERS, INC.
 BANKS, OR

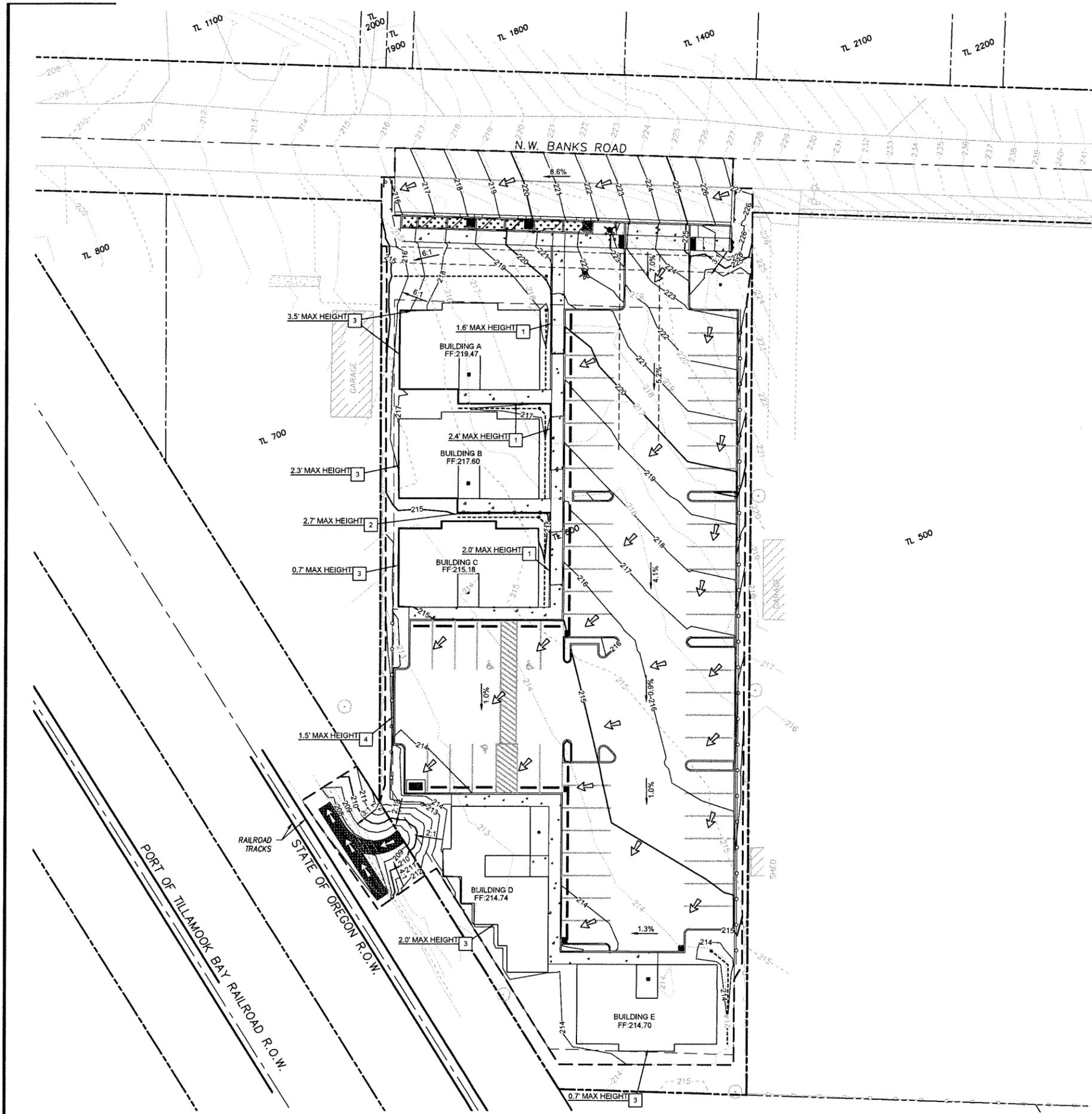
3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
 3J PROJECT # | 19585
 TAX LOT(S) | 00800
 LAND USE # | 1
 DESIGNED BY | JTE, LEO, KDO
 CHECKED BY | BKF
 SHEET NUMBER
C200



P:\19585-BANKS APARTMENTS\CAD\19585-SITE PLAN.DWG

P:19565-BANKS APARTMENTS\CAD\CAD19565-GRADING PLAN.DWG



LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 110 PROPOSED MAJOR CONTOUR
- 108 PROPOSED MINOR CONTOUR
- - - - PROPOSED LIMITS OF DISTURBANCE
- - - - DITCH LINE
- ⇨ SURFACE RUN-OFF FLOW ARROW

CONSTRUCTION KEY NOTES

- 1 PROPOSED MONOLITHIC SIDEWALK AND THICKENED EDGE (30" MAX HEIGHT).
- 2 PROPOSED MONOLITHIC SIDEWALK AND THICKENED EDGE WITH ATTACHED SAFETY FENCE (33" MAX HEIGHT).
- 3 PROPOSED EXPOSED FOUNDATION
- 3 PROPOSED TALL CURB (18" MAX HEIGHT).



PUBLISH DATE
2020-03-04
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LAND USE
REVISIONS

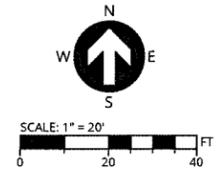
GRADING PLAN
TRAIL HEAD APARTMENTS

FIVE STAR BUILDERS, INC.
BANKS, OR

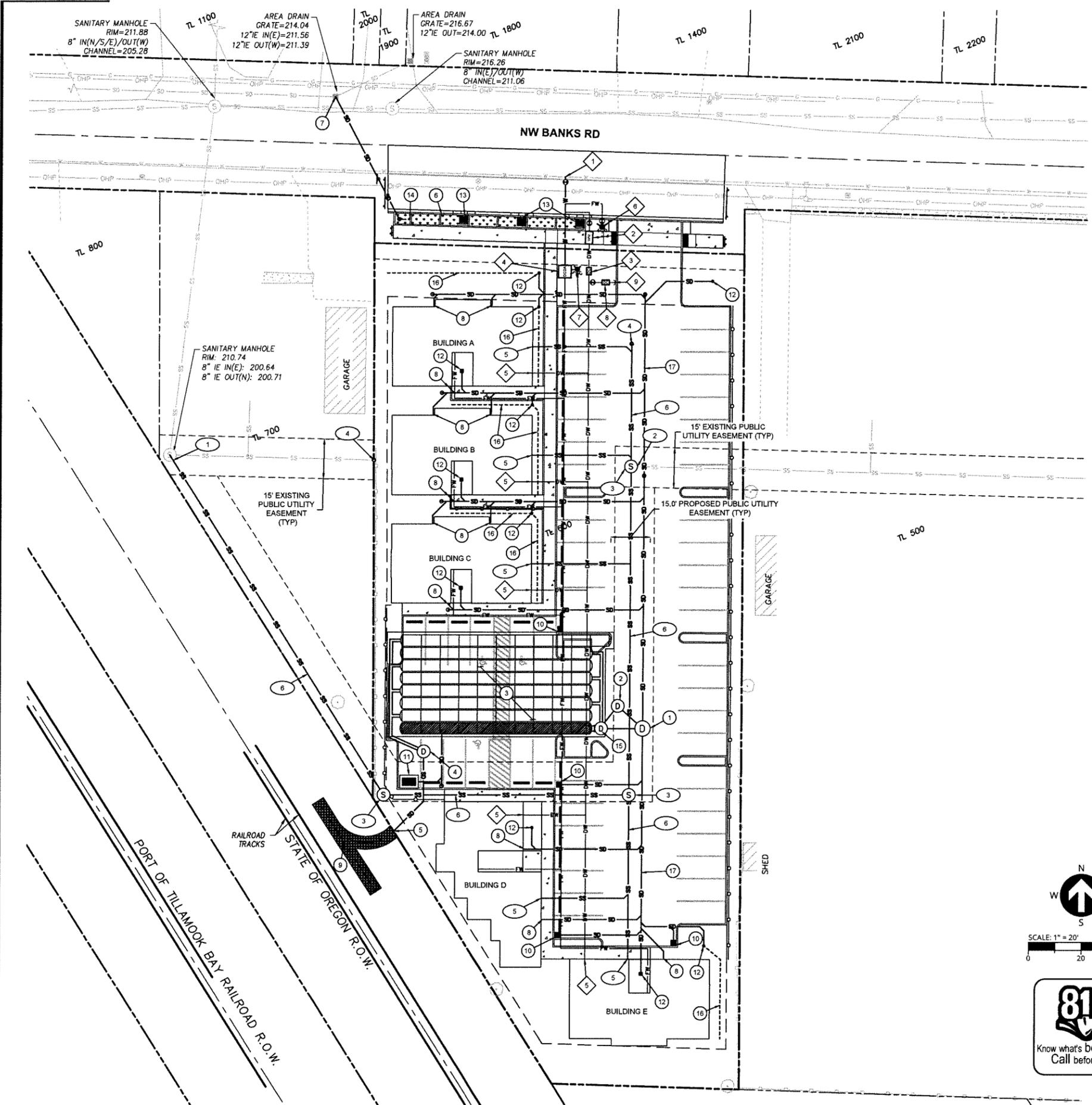
3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 19565
TAX LOT(S) | 00600
LAND USE # | -
DESIGNED BY | JTE, LEO, KDO
CHECKED BY | BKF

SHEET NUMBER
C230



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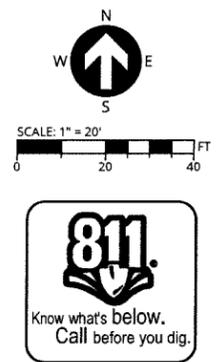
LEGEND

	PROPOSED STORM PIPE
	PROPOSED DITCH LINE
	PROPOSED SANITARY SEWER PIPE
	PROPOSED WATER MAIN
	PROPOSED WATER DOMESTIC SERVICE
	PROPOSED WATER FIRE SERVICE
	PROPOSED OUTFALL RIP RAB PAD
	PROPOSED OUTFALL RIP RAB PAD
	PROPOSED STORM MANHOLE
	PROPOSED STORM CLEANOUT
	PROPOSED CG-30 STORM INLET
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM AREA DRAIN
	PROPOSED STORM INLET ATRIUM GRATE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED VALVE
	PROPOSED WATER METER
	PROPOSED REDUCED PRESSURE BACKFLOW ASSEMBLY
	PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY

- STORM DRAIN KEY NOTES**
- PROPOSED SEDIMENTATION MANHOLE.
 - PROPOSED WATER QUALITY TREATMENT MANHOLE.
 - PROPOSED UNDERGROUND DETENTION SYSTEM.
 - PROPOSED FLOW CONTROL MANHOLE.
 - PROPOSED POINT OF CONNECTION FOR OUTFALL.
 - PROPOSED FLOW THROUGH PLANTER.
 - PROPOSED CONNECTION TO EXISTING STORM CATCH BASIN.
 - PROPOSED ROOF DRAIN POINT OF CONNECTION.
 - PROPOSED ROCK CONVEYANCE SWALE.
 - PROPOSED CATCH BASIN.
 - PROPOSED WATER QUALITY CATCH BASIN.
 - PROPOSED AREA DRAIN.
 - PROPOSED CG-30 STORM INLET.
 - PROPOSED ATRIUM GRATE INLET.
 - PROPOSED JUNCTION MANHOLE.
 - PROPOSED DRAINAGE DITCH
 - PROPOSED 12" STORM MAIN

- SANITARY SEWER KEY NOTES**
- PROPOSED CONNECTION TO EXISTING SANITARY SEWER MANHOLE.
 - PROPOSED POINT OF INTERCEPT AND CONNECTION OF EXISTING SANITARY SEWER PIPE TO PROPOSED MANHOLE.
 - PROPOSED SANITARY SEWER MANHOLE.
 - PROPOSED TERMINAL CLEANOUT AND CAP END.
 - PROPOSED BUILDING SEWER POINT OF CONNECTION.
 - PROPOSED 8" SEWER MAIN

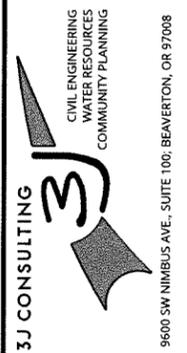
- WATER SYSTEM KEY NOTES**
- PROPOSED HOT TAP CONNECTION TO EXISTING WATER MAIN.
 - PROPOSED WATER METER.
 - PROPOSED DOMESTIC DOUBLE CHECK VALVE ASSEMBLY.
 - PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY.
 - PROPOSED DOMESTIC WATER POINT OF CONNECTION.
 - PROPOSED PUBLIC FIRE HYDRANT.
 - PROPOSED FIRE DEPARTMENT CONNECTION.
 - PROPOSED IRRIGATION DOUBLE CHECK.
 - PROPOSED IRRIGATION WATER POINT OF CONNECTION.



PUBLISH DATE
2020-03-04
ISSUED FOR
LAND USE
REVISIONS

COMPOSITE UTILITY PLAN
TRAIL HEAD APARTMENTS

FIVE STAR BUILDERS, INC.
BANKS, OR



PROJECT INFORMATION
3J PROJECT # | 19565
TAX LOT(S) | 00800
LAND USE # | -
DESIGNED BY | JTE, LEO, KDO
CHECKED BY | BKF

SHEET NUMBER
C300

3/30/2020 4:07:23 PM E:\Dropbox\06 projects\kvn\180941 Banks Apartments\09 CADD\180941 Banks Apartments\site plan w alternate option.rvt

2020-03-30 180941 A-000
 DRAWN BY: RG
 CHECKED BY: DC

0' - 3"
 Line is 3 inches at full scale
 (if not 3 inches then scale accordingly)

PREPARED FOR:



PROJECT NAME & ADDRESS:
NEW APARTMENT BUILDING

TRAILHEAD APARTMENTS
 42350 NW Banks Rd
 Banks, OR 97106



KERRY W. VANDERZANDEN ARCHITECT, P.C.
 13981 NW MAIN STREET
 BANKS, OREGON 97106
 (503) 324-5220 / (503) 324-0883 FAX

REVISIONS:

No.	Date	Description

PROJECT NUMBER: 180941
 DATE: 2020-03-30

PRELIMINARY

COVER SHEET

SHEET NUMBER:

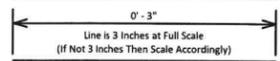
A-000

DRAWING INDEX

SHEET NUMBER	SHEET NAME	REV #	REV DATE	COMMENT
A-000	COVER SHEET			
A-201	BLDG ELEVATIONS			
A-201A	BLDG ELEVATIONS			

FIVE STAR BUILDERS, INC

GENERAL CONTRACTOR
 13981 N. MAIN STREET
 BANKS, OREGON 97106
 (503) 324-5220 / (503) 324-0883 FAX



FIVE STAR BUILDERS
 General Contractors
 WA# FIVESSB929CK
 OR CCB# 93298
 © 2020, Five Star Builders, Inc.

PROJECT NAME & ADDRESS:

NEW APARTMENT BUILDINGS

TRAILHEAD APARTMENTS
 42350 NW Banks Rd
 Banks, OR 97106

REGISTERED ARCHITECT
PRELIMINARY
 OF OREGON
 Kerry W. VanderZanden, A.A.
 13981 NW Main Street
 Banks, OR 97106
 (503) 324-5220 / (503) 324-0883 FAX

PREPARED FOR:

HENES JACKSON PROPERTIES
 PO Box 555, Banks, OR 97106

REVISIONS:

No.	Date	Description

PROJECT NUMBER: 180941
 DATE: 2020-03-27
 DRAWN BY: RG
 CHECKED BY: DC

PRELIMINARY
 SHEET TITLE:

BLDG ELEVATIONS

SHEET NUMBER:

A-201

- 10  **ROOFING**
ASPHALT COMPOSITION SHINGLES
- 9  **HARDIE-SHINGLE SIDING**
PAINTED
#245 Free Spirit
(Accent Dormers)
- 8  **HARDIE PLANK SIDING**
PAINTED
#HC-121 Peale Green
(Accent Body)
- 7  **HARDIE PANEL BOARD**
STYLE: SELECT CEDARMILL
PAINTED
#243 Baffin Island
(Main Body)
HARDIE TRIM BATTENS BOARDS
STYLE: RUSTIC GRAIN
PAINTED
#243 Baffin Island
(Main Body)
- 6  **HARDIE TRIM BOARDS**
STYLE: RUSTIC GRAIN
PAINTED
#2112-30 Stone Brown
(Window Trim, Gutters, Doors, Handrails)
- 5  **HARDIE PLANK SIDING**
PAINTED
#HC-22 Blair Gold
(Stair, Balcony)

MATERIAL LEGEND
Sunny Green Scheme



3 F ELEVATION
 3/16" = 1'-0"



4 R ELEVATION
 3/16" = 1'-0"



1 B ELEVATION
 3/16" = 1'-0"



2 L ELEVATION
 3/16" = 1'-0"

3/27/2020 11:04:33 AM E:\Dropbox\06 projects\kyn\180941 Banks Apartments\06 CADD\180941 Banks Apartments.dwg

FIVE STAR BUILDERS, INC

GENERAL CONTRACTOR
 13981 N. MAIN STREET
 BANKS, OREGON 97106
 (503) 324-5220 / (503) 324-0883 FAX

Line is 3 Inches at Full Scale
 (If Not 3 Inches Then Scale Accordingly)

FIVE STAR BUILDERS
 General Contractors
 WA# FV5589290K
 OR CCB# 93298
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PRELIMINARY
 SHEET TITLE:

BLDG ELEVATIONS

SHEET NUMBER:

A-201A



3 F ELEVATION
 3/16" = 1'-0"

4 R ELEVATION
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1 B ELEVATION
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2 L ELEVATION
 3/16" = 1'-0"

MATERIAL LEGEND
 Sunny Green Scheme

3/27/2020 11:02:27 AM E:\Dropbox\06 projects\kva\180941 Banks Apartments duplex alternate option.rvt

LANDSCAPE SPECIFICATIONS

PROVIDE SCHEDULE 40 2" I.D. SLEEVES AT ALL WALKS FOR IRRIG. PIPES

QUALITY: PROVIDE TREES, SHRUBS AND OTHER PLANTS COMPLYING WITH THE REQUIREMENTS AND RECOMMENDATIONS OF ANSI Z601 STANDARD FOR NURSERY STOCK AND AS FURTHER SPECIFIED

PROVIDE TREES AND SHRUBS OF THE SIZES SHOWN OR SPECIFIED. TREES AND SHRUBS OF LARGER SIZES MAY BE USED IF SIZES OR BALLS ARE INCREASED PROPORTIONATELY.

TREES AND SHRUBS: PROVIDE FRESHLY DUG TREES AND SHRUBS. DO NOT USE TREES OR SHRUBS WHICH HAVE BEEN IN COLD STORAGE OR HEATED IN. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH MANNER AS TO DAMAGE BARK, BRANCHES OR DESTROY NATURAL SHAPES.

PREPARATION: INSTALLERS MUST EXAMINE THE SUBGRADE, VERIFY ELEVATIONS, OBSERVE THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT PROCEED WITH THE WORK UNTIL SATISFACTORY CONDITIONS EXIST OR ANY UNSATISFACTORY CONDITIONS, IF ANY, HAVE BEEN CORRECTED.

PROCEED WITH AND COMPLETE WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE WORKING WITHIN THE REASONABLE LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.

PREPARATION OF PLANTING BEDS:
LOOSEN SUBGRADE OR PLANTING BED AREAS TO A MINIMUM DEPTH OF 6 INCHES USING A ROTOTILLER OR SIMILAR EQUIPMENT. REMOVE STONES OVER 1 1/2" IN ANY DIMENSION, AND STICKS AND STONES, RUBBISH AND OTHER EXTRANEOUS MATTER.

SPREAD PLANTING SOIL MIXTURE TO THE MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES AND ELEVATION SHOWN AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. PLACE APPROXIMATELY 1/3 OF TOTAL AMOUNT OF PLANTING SOIL REQUIRED, WORK INTO TOP OF LOOSENED SUBGRADE TO GREAT LAYER THEN PLACE REMAINDER OF THE PLANTING SOIL.

PREPARATION OF PLANTING SOIL:
BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, BODS, CLAY, LUMPS AND OTHER EXTRANEOUS MATERIALS. SIFT OR SIEVE TO REMOVE LUMPS AND OTHER MATERIALS.
DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN SEVEN DAYS FOR PIT AND TRENCH THE SOIL FIRST TO BACKFILLING STOCKPILE AT SITE FOR PLANTING BEDS. MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.

SCHEDULE OF PLANTING AND SOIL MIXTURE REQUIREMENTS:
FOR PLANTING BEDS PROVIDE NOT LESS THAN THE FOLLOWING QUANTITIES OF SPECIFIED MATERIALS:
50 LBS OF TOPSOIL PER 1000 SQUARE FEET
50 LBS OF SUPERPHOSPHATE PER 1000 SQUARE FEET
50 LBS OF COMPOST PER 1000 SQUARE FEET
SANDSTUFF APPLY 2" DEPTH OVER ALL PLANTING

BONE MEAL:
FOR TREE AND SHRUB BACKFILL, PROVIDE SPECIFIED MATERIALS IN NOT LESS THAN THE FOLLOWING QUANTITIES:
ONE PART OF SANDSTUFF TO THREE PARTS OF TOPSOIL BY VOLUME
1/2 CUP MEAL FOR ONE GALLON CONTAINER PLANTS
1 CUP MEAL FOR 5 GALLON AND 1 1/2 GALLON CONTAINER PLANTS AND TREES
1 1/2 CUPS BONE MEAL FOR 5 GALLON CONTAINER PLANTS AND TREES
PLANT TAGS: AS PER MANUFACTURERS DIRECTIONS

EXCAVATION FOR TREES AND SHRUBS:
EXCAVATE PITS, BEDS AND TRENCHES WITH VERTICAL SIDES WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUB-SOIL IN BOTTOM OF EXCAVATION FOR BALLED AND BURLAP-TIED TREES AND SHRUBS. MAKE EXCAVATIONS AT LEAST TWICE AS WIDE AS THE BALL DIAMETER AND EQUAL TO THE BALL DEPTH PLUS THE FOLLOWING ALLOWANCE FOR SETTING OF BALL ON A LAYER OF COMPACTED BACKFILL ALLOW FOR 3" SETTING LAYER OF PLANTING SOIL MIXTURE. DISPOSE OF SUBSOIL REMOVED FROM LANDSCAPE EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.

PLANTING TREES AND SHRUBS:
SET BALLED AND BURLAP-TIED STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE. PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1" INCH ABOVE ELEVATION OF ADJACENT FINISH GRADE.

WHEN SET, PLACE ADDITIONAL BACKFILL AROUND BASE AND SIDES OF BALL TO 1" FROM VERTICES AND AIR POCKETS. WHEN EXCAVATION IS APPROXIMATELY 1/2 FULL WITH WATER, THOROUGHLY PLACE REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL. REMOVE BURLAP FROM TOPS OF BALLS. RETAIN ON BOTTOMS.

SET CONTAINER GROWN STOCK AS SPECIFIED FOR BALLED AND BURLAP STOCK EXCEPT CUT CANES ON 3 SIDES WITH AN APPROVED CAN CUTTER. REMOVE BOTTOMS OF WOODEN BOXES, AFTER PARTIAL BACK-FILLING SO AS NOT TO DAMAGE ROOT BALLS.

FOR SPRING PLANTING, PROVIDE ADDITIONAL BACKFILL BERM AROUND EDGE OF EXCAVATIONS TO FORM A SHALLOW SAUCER TO COLLECT WATER.

MULCH PITS, TRENCHES AND PLANTED AREAS. PROVIDE NOT LESS THAN A 2 INCH THICKNESS OF MULCH AND WORK INTO TOP OF BACKFILL AND FINISH LEVEL WITH ADJACENT FINISH GRADES.

PRUNE, THIN OUT AND SHAPE TREES AND SHRUBS IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN TO RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT CUT TREE LEADERS AND REMOVE ONLY INJURED OR DEAD BRANCHES.

CUT AND STAKE TREES IMMEDIATELY AFTER PLANTING AS PER DETAIL.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.

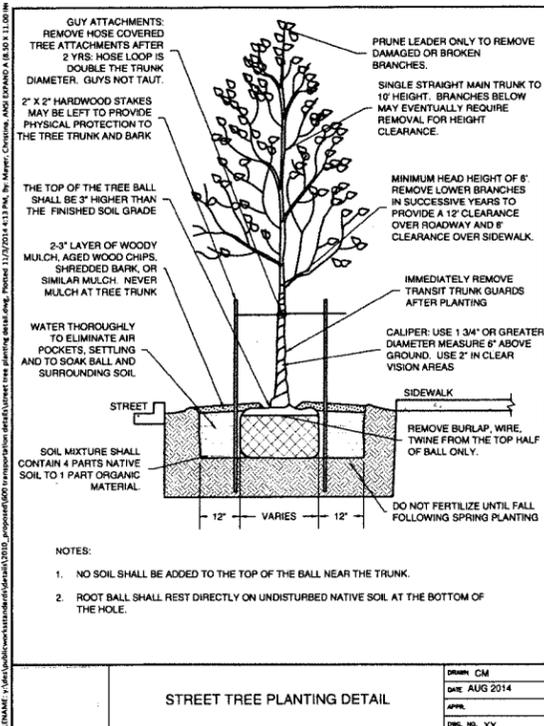
MAINTAIN TREES AND SHRUBS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE BUT IN NO CASE LESS THAN SIXTY (60) DAYS AFTER PLANTING. MAINTAIN TREES AND SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS.

TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.

SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE FROM INSECTS AND DISEASE.

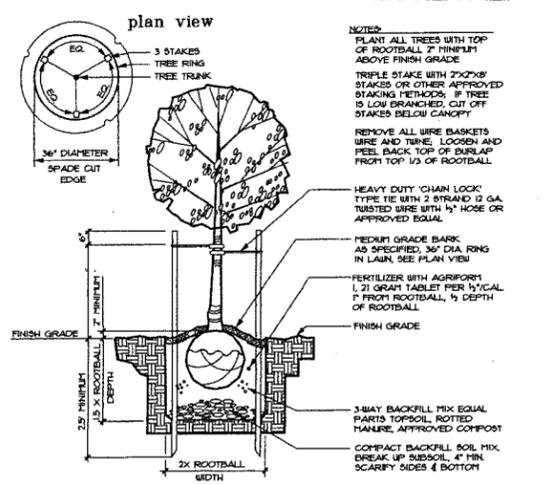
DURING LANDSCAPE WORK STORE MATERIALS AND EQUIPMENT WHERE DIRECTED. KEEP PAVEMENT CLEAN AND WORK AREA IN AN ORDERLY MANNER.

PROTECT LANDSCAPE AREA AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS. OPERATIONS BY OTHER CONTRACTORS AND TRADES AND RESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.



NOTES:
1. NO SOIL SHALL BE ADDED TO THE TOP OF THE BALL NEAR THE TRUNK.
2. ROOT BALL SHALL REST DIRECTLY ON UNDISTURBED NATIVE SOIL AT THE BOTTOM OF THE HOLE.

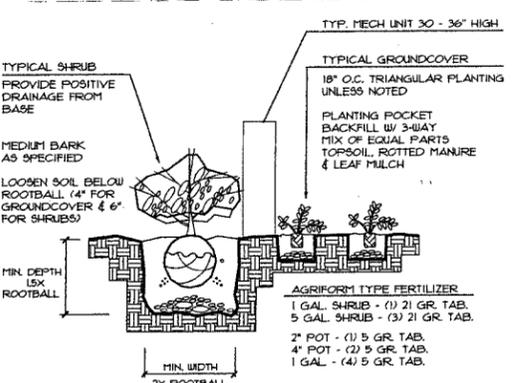
DATE: AUG 2014
APPV:
DWG. NO. XX



1 DECIDUOUS TREE INSTALLATION n.t.s.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
AC	ACER CERINATUM	VINE MAPLE	5-6' HT	3	MULTI-TRUNKED
AR	ACER RUBRUM 'BOWHALL'	'BOWHALL' RED MAPLE	2" cal	14	SPECIMEN
AU	ARCTOSTAPHYLOS 'UVA URSI'	KIWICKINNIK	4" POT	-	PLANT 12" O.C.
BT	BORBERY THUNBERGH 'ATROPURPUREA'	RED LEAF JAPANESE BARBERRY	3 GAL	67	WELL BRANCHED
CS	CORNUS SEBICIA 'KELSEYII'	'KELSEY' RED TWIG DOGWOOD	2 GAL	38	" "
CO	CAREX OSHIMENSIS 'EVERCOLOR' EVERGREEN	EVER COLOR EVERGREEN SEDGE	1 GAL	20	" "
DD	DAPHNE ODORA	WINTER DAPHNE	2 GAL	2	" "
GT	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	'SHADE MASTER' HONEY LOCUST	2" cal	11	" "
PA	PENNISETUM ALOPECUDES 'HAMELW'	'HAMELW' DWARF FOUNTAIN GRASS	1 GAL	42	" "
PJ	PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE ANDROMEDA	5 GAL	18	" "
PL	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	'OTTO LUYKEN' LAUREL	5 GAL	54	" "
SB	SPIRAEA BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	5 GAL	19	" "
SP	SALIX PURPUREA 'GRACILIS'	DWARF PURPLE OSIER WILLOW	2 GAL	17	" "
SR	SARCOCOCA RUSCIFOLIA	SARCOCOCA	2 GAL	18	" "
ZS	ZELKOVA SERREATA 'VILLAGE GREEN'	'VILLAGE GREEN' ZELKOVA	2" cal	6	" "



2 SHRUB, GROUNDCOVER INSTALLATION n.t.s.

No.	Date	Description

PREPARED FOR: FIVE STAR BUILDERS

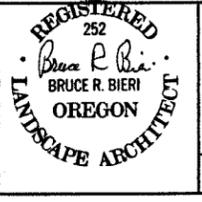
DESIGNED BY: BB

DRAWN BY: BB

CHECKED BY: BB

FIVE STAR BUILDERS
General Contractors
OR CCB# 93298 WA# FV55829CX
13981 NW Main Street, Banks, Oregon 97106
Ph (503) 324-5220 / Fax (503) 324-0883
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PREPARED BY:
BRUCE BIERI, ASLA
LANDSCAPE ARCHITECT
10394 SW PORTER STREET
PORTLAND, OR, 97225
(503) 203-1844



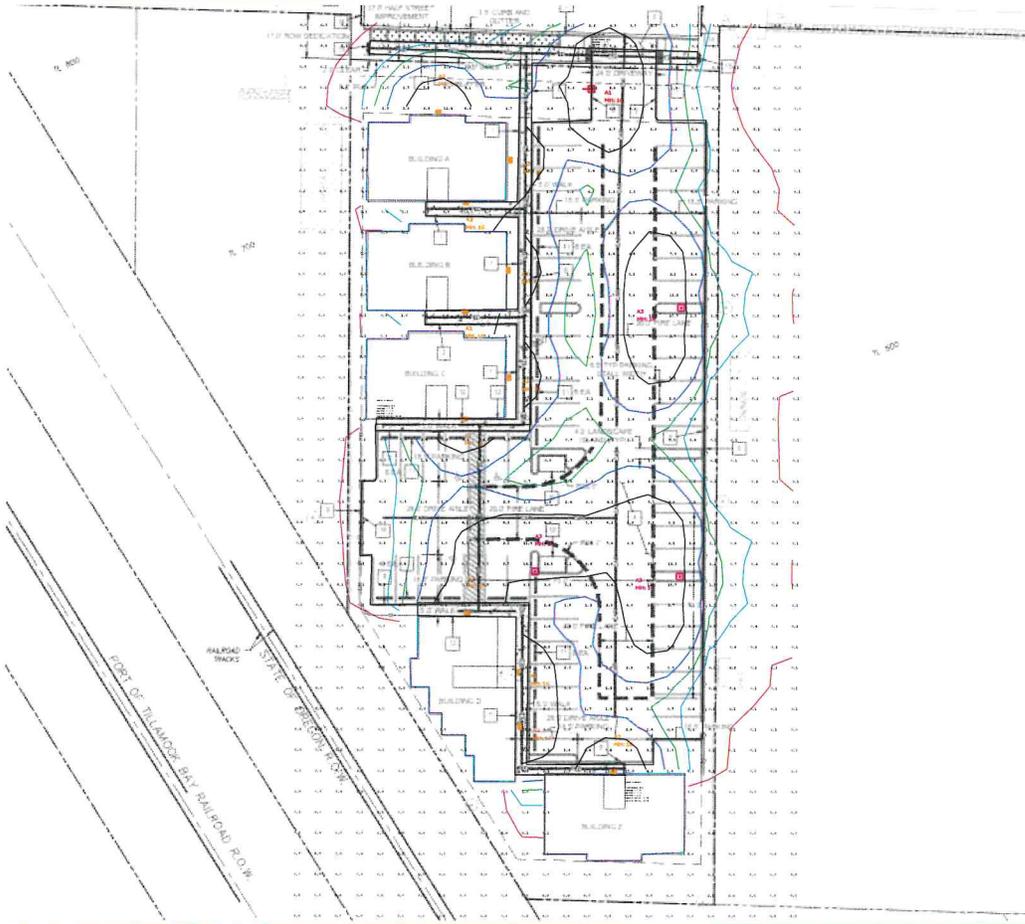
NEW APARTMENT BUILDING
TRAILHEAD APARTMENTS
42350 NW Banks Rd
Banks, OR 97106
LANDSCAPE PLAN

PROJECT NUMBER: 180941
DATE: FEB 2020
L-2



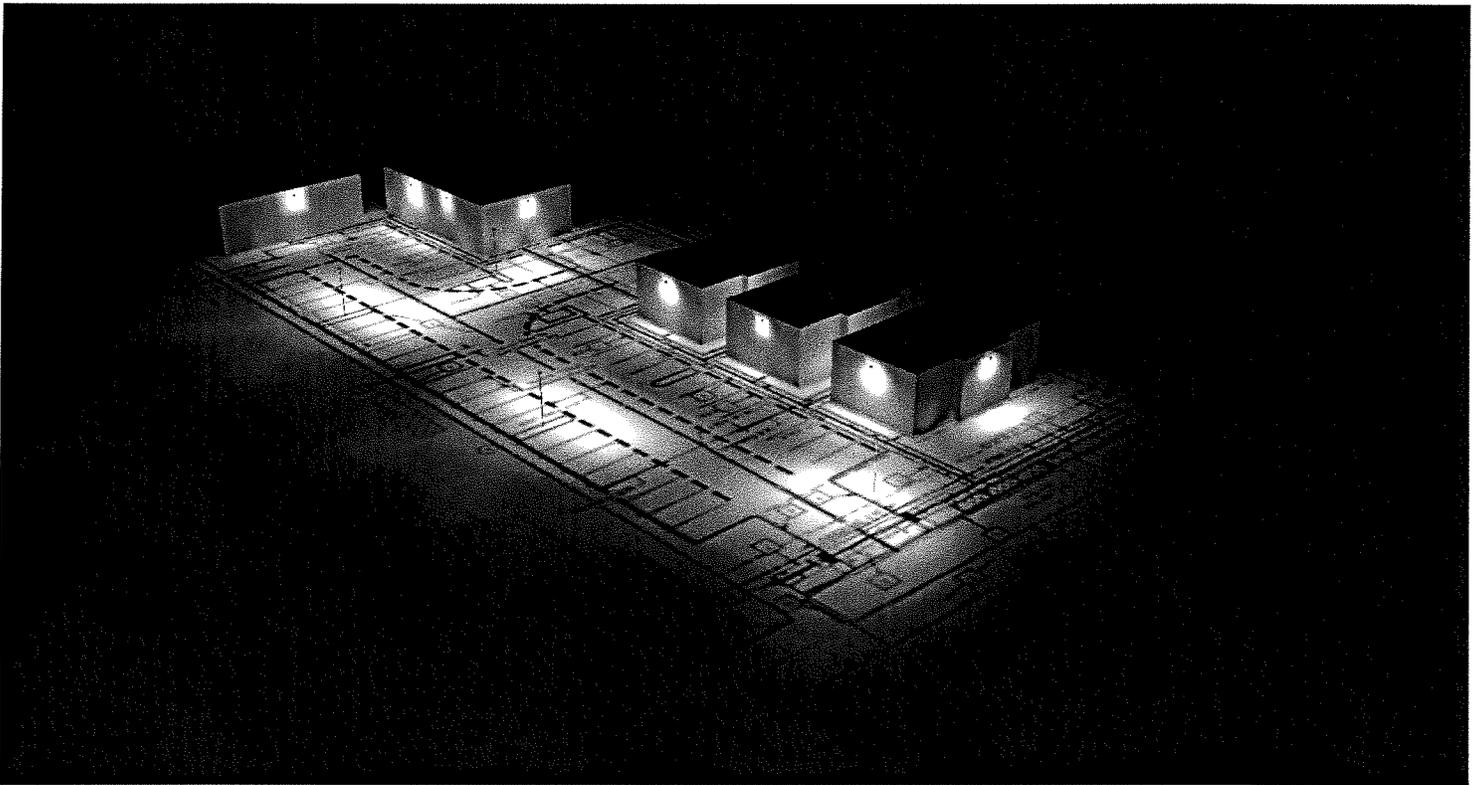
Fixture Summary			
Symbol	Label	Qty	Part #
	A1	1	SLPM18LFT45K
	A2	11	WPM64LED
	A3	3	SLPM18LT345K

Calculation Summary				
Label	Avg	Max	Min	Height
ALL CALC PTS	1.88	15.7	0.0	0
North Sidewalk	5.78	14.5	0.2	
Parking Lot	3.75	15.7	0.3	
South Sidewalk	7.84	15.0	2.2	



Note: Layout is based on information provided and should not be used as an as-built construction document. A Professional Architect, Engineer, or Contractor must determine if layout will work with current or future site conditions. Illumination levels can vary due to unforeseen site conditions such as major light obstructions (i.e.- Trees, Indoor racking, etc.) Part #'s shown on this layout are standard and may not include additional options (i.e - voltage, color, photocell, etc.) or mounting bracketry, those items should be addressed via quote before an order is placed.

3D Contrast Render



ATTACHMENT B
AGENCY RESPONSES

18 May 2020

Memorandum

To: Lauren Scott, City Planner
From: Rob Peacock, PE, City Engineer
Subject: Site Plan Review - Trail Head Apartments
42350 NW Banks Road Apartments
K/J 0791015*00

The purpose of this memorandum is to provide Site Plan Review comments on the proposed development of a 30-unit apartment complex at 42350 NW Banks Road called Trail Head Apartments. This review was prepared to evaluate the Site Plans for conformance with City of Banks Public Works Design Standards and relevant sections of the Development Code.

The City of Banks (City) is currently considering development applications under moratorium prohibiting new development due to insufficient water supply. Multi-family housing proposing 25 to 40 units is exempt from the building moratorium. The exemption applies to the development proposed in this submittal.

City of Banks Public Works Design Standards

The City of Banks adopted Public Works Design Standards that include requirements for connections to public utilities, streets and sidewalks, and Right-of-Way Permits. Additional design standards may apply, depending on the jurisdictions involved.

Site Plan Review

The Site Plan shows 5 buildings with 30 units and 60 parking spaces, underground utilities and grading. General comments are provided here followed by sheet-specific comments.

Water Comments

City Council adopted an ordinance requiring low flow fixtures complying with EPA Watersense requirements in Ordinance No. 2018-10-01 and requires all new development to install the low flow fixtures in development.

Water supply is currently limited but believed adequate to serve the proposed development. The City prepared a preliminary estimate of water demand in November 2018, which projected additional demand of 4 to 6 gallons per minute from the proposed apartment complex using

Memorandum

Lauren Scott, City Planner
18 May 2020
0791015*00
Page 2

EPA Watersense-compliant fixtures. We request the Developer prepare a water demand estimate as part of the next development application submittal for Engineer's review.

Landscape Comments

The landscape plans include shrubs, trees, and lawn grass. City of Banks Code of Ordinance 50.24 provides requirements to conserve water by including drought-tolerant plantings, as well as limitations on irrigation during the irrigation season. The code requires submittal of water demand calculations, maintenance plan, irrigation system design, and plant lists. Landscape plans show street trees in the right-of-way or adjacent to the right of way and sidewalk. Trees proposed within the right-of-way they should comply with Public Works Design Standards Section 2.20.19, Drawing No. 215, and Appendix B. For trees located outside but adjacent to the right-of-way, provide root barrier as shown on Drawing No. 215 on the sidewalk-side of the planting. Please confirm proposed street trees to not impair vision clearance when exiting the driveway.

Stormwater Service

A Preliminary Storm Water Report prepared by 3J consulting 3 May 2020 was included with the application. The proposed design includes detention of stormwater, discharge to 1) the ditch along the ODOT Rail right-of-way; and 2) the Storm facilities along Banks Road. Work along the ODOT right-of-way requires review and approval by ODOT. Coordinate with ODOT on work and discharge to the ditch along the rail.

The Public Works Design Standards apply to stormwater connections in the Banks Road right-of-way that should be coordinated with CWS Stormwater Standards and shall be approved by CWS Development Services prior to approval.

Sanitary Sewer Service

The existing sanitary sewer is proposed to be rerouted around the proposed structures. A Public Utility Easement is shown for the sanitary sewer line, presumably to be granted to CWS. The City of Banks Public Works Design Standards apply to sewer connections in the public right-of-way and should be coordinated with CWS Standards.

Traffic and Streets

Banks Road is a Washington County Road, but is within City Limits, and is planned to be improved to urban standards. Work within the right of way shall conform to City and County Road Design Standards.

Memorandum

Lauren Scott, City Planner
18 May 2020
0791015*00
Page 3

A Traffic Impact Analysis was prepared in 2018 is required by the City Development Code and may be required by Washington County. DKS Associates prepared a review of the 2018 Traffic Impact Analysis and determined Banks Road as it is currently configured is adequate to serve the proposed development. Sight distances and driveway spacing were determined to be adequate. No further analysis is required for the current layout and number of units.

Drawing Sheet Comments

Sheet C100

- Keynote 1, Confirm all water, sewer, and storm connections are plugged, shut off, or completely removed to the utility-owned lines.
- Keynote 9, Notify the City when existing fire hydrant is disconnected, shut off water service at hydrant valve, cut and plug 6-inch hydrant connection downstream of hydrant valve.
- Keynote 10, Notify the City when water is disconnected, shut off water service at corporation stop (at main), install cap on corporation stop.

Sheet C200

- A 17-foot right of way dedication proposed that includes sidewalk, storm water quality facilities, and a portion of half-street improvements.

Sheet C230

- Work in the Banks Road right-of-way shall be designed according to the City of Banks Public Works Design Standards. A right -of-way permit will be required for work in the right of way, including sidewalk, curb, and street improvements, as well as underground utilities.

Sheet C300

- Storm and Sanitary sewer design shall conform to Clean Water Services (CWS) Design standards and the City of Banks Public Works Design Standards.
- Water System connections shall conform to City of Banks Public Works Design Standards.

MEMORANDUM

Date: May 18, 2020
To: Lauren Scott, Planning Consultant, City of Banks
From: Jackie Sue Humphreys, Clean Water Services (CWS)
Subject: Trailhead Apartments, 42350 NW Banks Road, 2N331BB00600

Please include the following comments when writing your conditions of approval:

PRIOR TO ANY WORK ON THE SITE

A Clean Water Services (CWS) Site Development Permit must be obtained. Application for CWS Site Development Permit must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order Nos. 19-5 as amended by R&O 19-22 (CWS Standards), or prior standards as meeting the implementation policy of R&O 18-28, and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans. If site area and any offsite improvements required for this development exceed one-acre of disturbance, project will require a 1200-CN Erosion Control Permit.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 19-5, Section 4.04. Access shall be provided for maintenance of facility per R&O 19-5, Section 4.07.6.
- e. If use of an existing offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.

- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

CONCLUSION

This Land Use Review does not constitute CWS approval of storm or sanitary sewer compliance to the NPDES permit held by CWS. CWS, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.

From: [Jolynn Becker](#)
To: [Lauren Scott](#)
Cc: [Daniel Kearns](#)
Subject: FW: Summary
Date: Tuesday, June 16, 2020 1:43:10 PM

FYI

Jolynn Becker

City Manager
City of Banks, Oregon

☎: 503.324-5112 | 📠: 503.324-6674 | ✉: jbecker@cityofbanks.org



From: Jacob Pence <jacobp@banks.k12.or.us>
Sent: Tuesday, June 16, 2020 1:42 PM
To: Jolynn Becker <jbecker@cityofbanks.org>
Subject: Summary

JoLynne,

I got your voicemail, thanks for reaching out. I wanted to come to the city council meeting this past fall to share some information with the committee about the schools. Whenever topics about growth, whether it was for the Lenair homes, or this new apartment, I kept seeing comments about how full the schools are. This was often on social media, or in conversations with community members. Many would comment how we do not have room in the schools for more growth and classes are full. This is not true, and I wanted that information to be shared with the city council and planning committee.

Speaking specifically to the high school. When I started in Banks in 2003, there were 420+ students at the high school, and we were not full. This was some of the largest enrollment years that BHS has ever had. This was due to the families who purchased homes in "the development" after they were built in the late 1990's. These families had children, and now their children have graduated from our school system, but they still live in their homes. Since this time, our enrollment has been slowly declining and we had 375 students at the high school this year.

Our schools are funded mainly from the state school fund which is determined from a calculation

of the number of students in our schools. With our drop in enrollment over the years, we have had to make cuts to programs and have fewer teachers and fewer offerings than when I started at Banks. If our enrollment went up, we would be able to add additional staffing across the district and some class sizes would actually go down.

In each of our schools we have classrooms that are unused, or under-utilized (used every other day or for a period or two a day). We have room to add staff and room for additional students if there were additional students and/or additional funding.

We do have a couple large bubble grades, that are over 100 students per grade. There are some grades that have 75 or less students per grade. We could see some issues if we had large move-ins in a certain grade, especially in our already large grades like next year's Seniors or Juniors. However, statistically, any bump in enrollment would be spread and distributed across the different grades.

When we had Open Enrollment as an option for students across Oregon, we had many students, as much as 10% of the high school who actually lived in Hillsboro, Forest Grove, and Vernonia and attended Banks High School. The Open Enrollment legislation expired or sunset and is no longer an option. Students who were already here are grandfathered in, but no new students will be accepted. This law helped us maintain our enrollment to a degree. Now that this law has been phased out, we see our enrollment dropping further each year in the future without additional growth and housing opportunities.

Now students' only option to attend Banks Schools is to live within our boundaries or be released from their home districts through an interdistrict transfer agreement. Most of the districts around us, deny the interdistrict transfer requests to keep their students and funding in their district. We have students and families that want to live in Banks and attend Banks Schools, who would love the small school/small town education. Without Open Enrollment as an option, they have a very difficult time finding a residence in Banks.

There are many other concerns from committees I have been on at the school in discussing local property taxes, bond capacity for a new school to replace our aging high school, district office, and community gym (barn). With the steep increase in construction costs, and our small tax base, I am also concerned that we will not be able to pass a bond capable of replacing our high school. That is another long term concern and discussion.

I now live in Banks, and have taught here for 17 years. I know many current residents are fearful of growth and losing their small town that they enjoy. I love the small town feel too, but without some growth, I am concerned about the level of education and resources we can provide for our students and current families. I am happy to attend or be involved in any committees or city council meetings in the future if you need some more input or answer questions.

Jacob Pence

Banks High School
Principal

503-324-2281 x4901 (w)

503-939-4530 (c)

GO BRAVES!

ATTACHMENT C
ORDINANCE 2019-05-01 AND STAFF
REPORT ADOPTED BY REFERENCE



ORDINANCE No. 2019-05-01

An Ordinance Approving with Conditions a Comprehensive Plan Amendment and Zone Change for 0.98 acres owned by H&J Properties from Single-Family Residential (R5) to Multi-family (R2.5)

The Banks City Council adopts the following findings:

Whereas, the City owns and operates a municipal water system and water utility, the demand for which is nearly at the water system's capacity, and for which the City adopted Resolution 2018-19 which imposed a moratorium on new development and new water connections; and

Whereas, because the City also has a documented shortage of affordable housing units, Resolution 2018-19 expressly granted an exception to the prohibition on new connections and development to allow multi-family residential projects proposing a minimum of 25 dwelling units, a maximum of 40 dwelling units, that incorporates and employs the water conservation measures in Banks Code of Ordinances Chapter 5.24; and

Whereas, H&J Properties is the owner of certain real property in the City of Banks, consisting of approximately 0.98 acres more particularly described and shown on Exhibit A attached hereto and incorporated herein by this reference (the "Property"), which has a City Comprehensive Plan and zoning designation of Single-Family Residential (R5); and

Whereas, H&J Properties submitted an application to change the Comprehensive Plan Map designation and zone of the Property from Single-Family Residential (R5) to Multi-family (R2.5)(the "Plan Amendment/Zone Change Application"), with the objective of constructing a 30-unit apartment complex on the Property; and

Whereas, on March 26, 2019 at 6:30 PM the Banks Planning Commission held a duly-noticed public hearing to accept public testimony and consider the Plan Amendment/Zone Change Application; and

Whereas, at its March 26, 2019 hearing the Planning Commission accepted public testimony and written comment on the Plan Amendment/Zone Change Application by H&J Properties and, at the conclusion of the hearing, ordered that the record remain open and continued the hearing to the Planning Commission's April 30 meeting; and

Whereas, at its April 30, 2019 meeting, the Planning Commission considered additional written submittals received after the March 26th hearing, deliberated and voted to recommend approval of H&J Properties' Plan Amendment/Zone Change Application; and

Whereas, on May 14, 2019, the City Council held a duly-noticed public hearing to consider the Planning Commission's recommendation on the Plan Amendment/Zone Change Application, at which hearing the City Council accepted the staff report that included findings of fact and conclusions of law, attached hereto as Exhibit B, and after taking public testimony and deliberating, closed the public hearing at the same meeting; and

Whereas, the City Council finds that the Plan Amendment/Zone Change Application satisfies all applicable criteria of the Banks Comprehensive Plan and Zoning Ordinance.

NOW, THEREFORE, based on the foregoing findings, the City of Banks ordains as follows:

Section 1. Comprehensive Plan Amendment. The Comprehensive Plan Map Designation of the Property described and illustrated on Exhibits A and B, incorporated herein by reference, is hereby changed from Single-Family Residential to Multi-family Residential.

Section 2. Zone Change with Condition. The Zone Map Designation of the Property is hereby changed from Single-Family Residential (R5) to Multi-family (R2.5). Consistent with Resolution 2018-19, use of the Property under the R2.5 zone is expressly limited to a multi-family development with a minimum of 25 dwelling units and a maximum of 30 dwelling units, and shall incorporate and employ the water conservation measures in Banks Code of Ordinances Chapter 5.24; and

Section 3. Adoption of Findings. The findings of fact provided in the staff report received at the May 14, 2019 hearing and attached as Exhibit B and incorporated herein by reference are hereby adopted in support of this decision.

Brought before Banks City Council and read for the first time May 14, 2019.

Read for the second time and adopted June 11, 2019.

This Ordinance shall be effective June 11, 2019 and may be appealed to the Land Use Board of Appeals by any party with standing within 21 days of when this decision is reduced to writing and signed.



Peter C. Edison, Mayor

Attest:

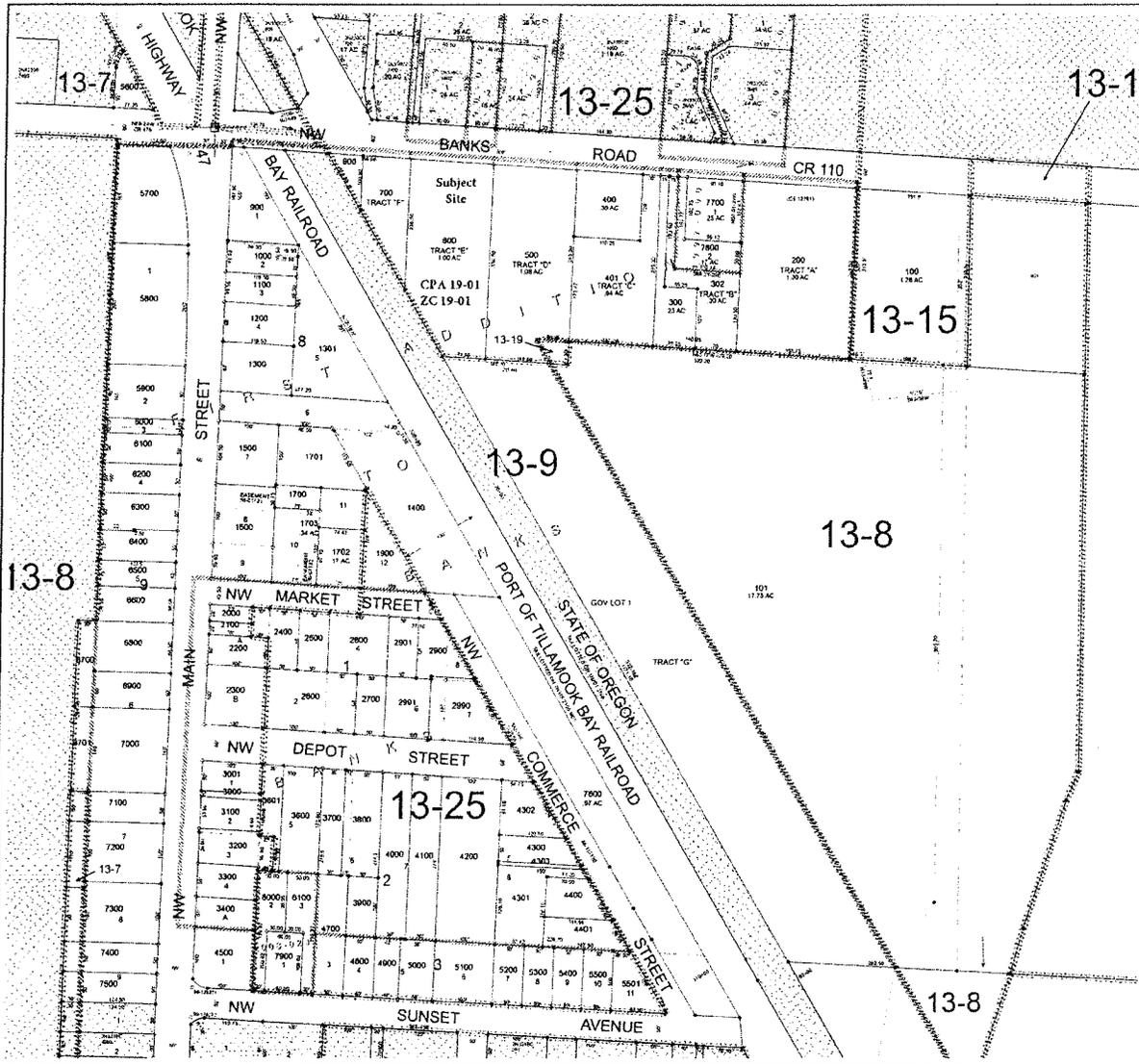

Angie Lanter, City Recorder

Summary of Votes

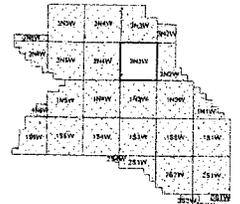
Marsha Kirk	Yes/No
Stephanie Jones	Yes/No
Michael Nelson	Yes/No Absent
Erica Harold-Heine	Yes/No Absent
Mark Gregg	Yes/No

EXHIBIT A

EXHIBIT A



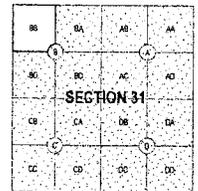
2N331BB



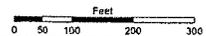
WASHINGTON COUNTY OREGON
NW 1/4 NW 1/4 SECTION 31 T2N R3W W.M.
SCALE 1" = 100'

28	21	12	17	24	16	26	31
1	8	9	10	11	10	7	6
17	8	9	10	11	10	7	6
15	16	17	16	16	14	24	18
24	18	26	27	22	25	24	19
23	26	27	26	26	26	24	20
24	31	25	23	24	26	26	21
1	6	5	4	3	2	3	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us



Consolidated Traction Plan: 2N331BB
90-080-160041-301-302-303



PLOT DATE: 9/20/2018
Revised: 9
FOR ASSESSMENT PURPOSES
ONLY. DO NOT RELY ON
FOR OTHER USE

This map was prepared by the City of Banks, Oregon, and is for informational purposes only. It is not intended to be used for legal or other purposes. The City of Banks is not responsible for any errors or omissions on this map.

BANKS
2N331BB

STAFF REPORT
CPA 19-01/ZC 19-01

DATE: March 15, 2019 for the March 26, 2019 Planning Commission Meeting

REQUEST: **CPA 19-01.** Comprehensive Plan Map Amendment to change the plan designation of the property from Single-Family Residential (R5) to Multi-family (R2.5) to allow for a future development of 30 multi-family units .

ZC 19-01. Zoning Map Amendment to change the zoning of the property from Single-Family Residential (R5) to Multi-family R2.5 to allow for a future development of 30 multi-family units.

APPLICANT: H&J Properties
P.O. Box 555
Banks, OR 97106
Ph: 503.324.5220

APPLICANT'S
REPRESENTATIVE: Greta Holmstrom
Ardor Consulting
Hillsboro, OR 97124
Ph: 360.721.5745
Email: gholmstrom@yahoo.com

PROPERTY: Tax Lot 00600, Tax Map 2N3W31BB. The Property is on NW Banks Road, approximately 400 feet east of the intersection of NW Banks Road and NW Main Street. The Property consists of approximately .98 acres.

ZONING: Single Family Residential R-5

APPLICABLE
CODE: Section 151.170-151.171 Application Procedures
Section 151.155-151.159 Comprehensive Plan Amendments and Zone Changes

1. EXECUTIVE SUMMARY

H&J Properties (“Applicant”) is requesting approval to amend the Banks Comprehensive Plan and zoning designation of the property from Single-Family Residential (R5) to Multi-family Residential (R2.5) to allow for future development of a 30 unit multi-family housing project. The Applicant’s narrative states that upon reclassification of the property, it anticipated that 30 multi-family residences will be developed and that this housing type is not readily available in Banks. Staff concurs.

This request for a plan amendment and zone change is tied to a future request to apply for Site Plan Review of a maximum 30 multi-family dwelling units on the subject site. Meaning, if this application is approved, the plan amendment and zone change **will be conditioned to allow for an application to be submitted for future development of a maximum of 30 multi-family dwelling units.** It should be noted (and the Applicant is aware) that land use permits (e.g., Site Plan Review) will be required prior to any development of the property for a maximum of 30 multi-family dwelling units. The 30 unit maximum correlates to the current Banks Development Moratorium as discussed in Section 5, below.

This application requests to only change the City’s Comprehensive Plan and Zoning maps; it is not an application to develop the property.

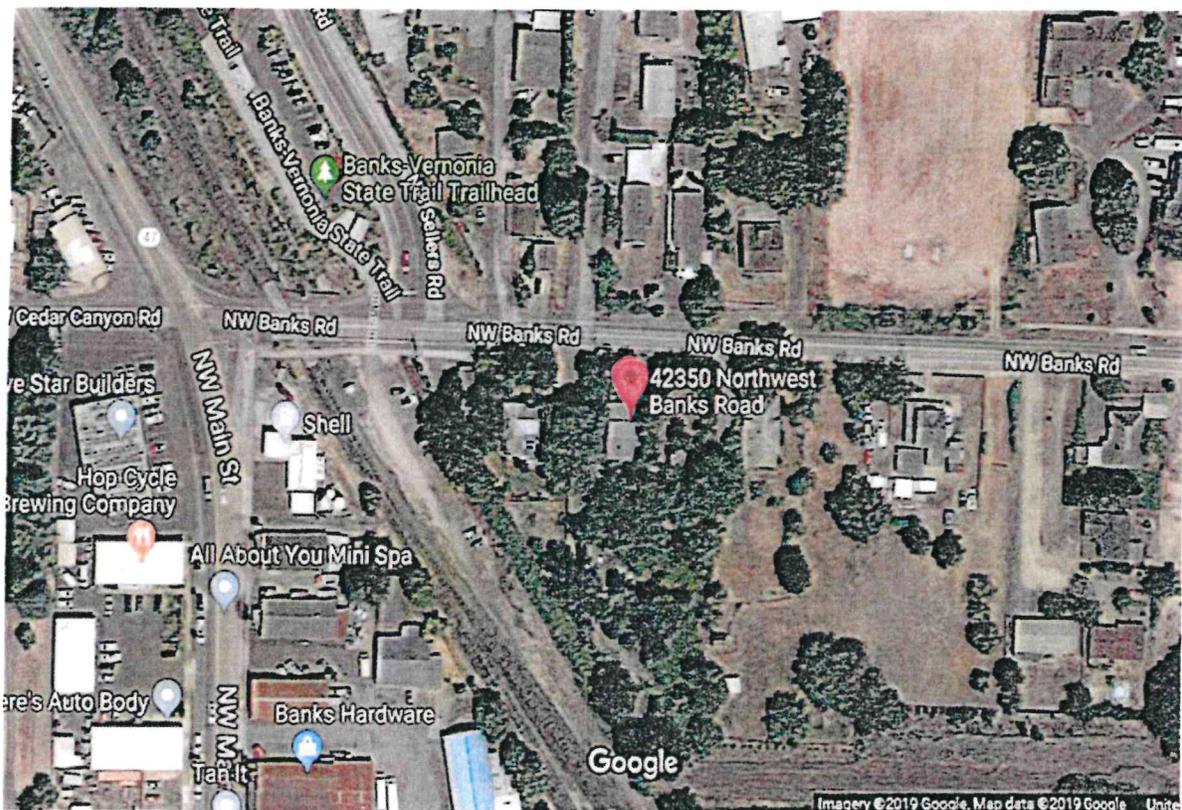
2. SITE DESCRIPTION

The property is on NW Banks Road, approximately 400 feet east of the intersection of NW Banks Road and NW Main Street. One single family residence exists on the lot, located near the NW Banks Road frontage.

The property is generally located in an area of mixed uses and shown on the map below. The site is surrounded by single family dwellings as well as a lumber mill. Directly west of the site is the historic downtown core of Banks, including retail, industrial, office and regional park uses.

The site is within the Banks Fire District, the Banks Public School District and the Washington County Sheriff's Department district. Clean Water Services is the sanitary sewer and storm conveyance provider for the area.

Figures 1 and 2: Site Location Maps, 42350 NW Banks Road





3. LAND USE REVIEW PROCESSES

The Banks Zoning Ordinance (“BZO”) 151.171 provides that the Planning Commission review and make a recommendation to the City Council on the proposed Plan Amendment and Zone Change. The Applicant shall apply for applicable land development permits if this map amendment is approved.

The Planning Commission’s review of the land use applications must focus on the relevant code criteria and outlined herein and follow the procedures for a quasi-judicial review under the City of Banks Development and Zoning Code Section 151.115 through 151.117. The Planning Commission may approve the application only if the proposal conforms to the approval criteria as outlined in this Staff Report or reasonable conditions of approval can be applied.

It is recommended that the Planning Commission recommend approval of File Nos. CPA 19-01 and ZC 19-01, with conditions, to the Banks City Council.

4. PROPOSED COMPREHENSIVE PLAN AMENDMENT AND ZONE CHANGE

The Applicant states that re-designation of the Property from single-family residential uses to multi-family residential uses is appropriate for several reasons. First, the property’s location is suitable for multi-family uses because it is centrally located near the downtown core. It is also located near existing public facilities which minimizes up-front development costs and the public cost of long term infrastructure maintenance. The Applicant further states that providing for multi-family housing near the downtown core, where there are retail, civic and employment opportunities located, will continue to support the “hub” of downtown Banks and provide a much needed, housing opportunity that currently does not exist. Staff concurs.

The City of Banks has a documented need of multi-family housing. The 2011 Urban Growth Boundary Expansion Study concluded that the City at that time was in need of 153 multi-family housing units to meet the population projections in year 2029. Since 2011, no new multi-family units have been added to the housing supply. Therefore there is a documented, defined need for multi-family units.

A more recent study titled the Banks Economic Development Roadmap/Competitive Analysis (2018 Leland) concluded that “more focus and attention should be placed on smaller multi-family units that can serve employees in the timber and retail industries, as well as retirees wanting a smaller home with little maintenance.” The Banks population is projected to grow at a faster rate than the historical average between now and 2025, at 3.3 percent annually. The projected 2037 year population is 2,908; at the time of writing this report the population is 1,908. (Source: Portland State University Population and Demographics 2017)

The Applicant provided a Traffic Impact Analysis (“TIA”) which considered the impacts of the site under a scenario of 30 new apartment units. This 30 unit number is consistent with the language in the Banks Moratorium Resolution 2018-19. The findings indicate that the surrounding street system is capable of handling a future build of 30 multi-family dwelling units on the property.

The City’s Transportation System Development Charges (SDC’s) are directly related to the volume of traffic generated by specific types of use. The SDC’s collected from future development of the site can be used to pay for improvements to projects included in the City’s Transportation System Plan.

This Application is analyzed based on a maximum of 30 units that can be developed, consistent with the language found in the Banks Development Moratorium (Resolution 2018-19). If approved, any future development on the site must be for 30 multi-family units only. A condition of approval will be added stating as such.

The Applicant has provided a preliminary concept plan of the site showing how it could be developed in the future. The conceptual development plan is non-binding; it shows how development of the site could occur. There is no design application proposed as part of this application. Future development proposals will be required to apply for Planning approval (e.g., Site Plan Review) to ensure compliance with the Banks Zoning Code, Public Works Design Standards and Clean Water Services Design and Construction Standards.

5. CITY OF BANKS DEVELOPMENT MORATORIUM (Resolution No. 2018-19)

Resolution 2018-19 declares a moratorium on new development in the City of Banks due to a documented shortage of municipal water supply. The City Council, based on professional engineering studies, found that the City's supply of potable water is limited and the City is nearing the planned capacity of its water supply and utility. Without further measures to conserve and increase the current municipal water system capacity, peak water demand in the City will soon exceed the City's water supply and system capacity during the times of year when the supply is most limited.

The City has undertaken several measures and projects at the time of writing this report to prevent water system loss and to increase supply capacity, and is planning others, to increase its water system capacity to accommodate additional connections. These measures include a water line replacement project for the City's water mains running down Sellers Road and Cedar Canyon Road, a comprehensive leak detection and repair program and the adoption of water conservation and curtailment measures. The water main replacement projects will take at least one to two years to complete and it is unclear how many, if any, additional system connections these measures, collectively or individually will produce. Staff refers the reader to additional language in the attached resolution and includes it as part of the record as an exhibit.

The City Council also recognized the importance of certain development types as critical for the City's economy and for affordable housing. As such, the City Council included an exception to the moratorium that directly applies to this application as follows:

b. Development applications for multi-family housing, including apartments, condominiums and multi-family affordable housing projects, that propose a minimum of 25 dwelling units, a maximum of 40 dwelling units, and incorporate and employ the water conservation measures in Banks Code of Ordinances Chapter 5.24. No more than three such qualifying development applications for multi-family housing shall be accepted, processed and approved during the pendency of this Development Moratorium, including any extensions thereof. In support of this exemption, the Council relies upon the portions of the City's Housing Needs Analysis, attached hereto as Exhibit B, which document a need for more affordable housing in the City. (Resolution 2018-19, Page 4 of 16.)

6. **COMMENTS TO THE RECORD**

a. **DKS and Associates (City Traffic Engineer).** DKS and Associates provided comments to the record in a letter dated March 20, 2019. Please refer to the comments attached to review the letter. Key findings were confirmed as outlined in the memo demonstrating that the proposed land use of 30 multi-family dwelling units can be adequately served by NW Banks Road without significantly impacting traffic safety or operations.

b. **Kennedy/Jenks (City Engineer).** Kennedy/Jenks provided comments to the record in a memorandum dated November 9, 2018 and are attached.

c. **Washington County Transportation Department.** Transportation planning staff responded that they do not comment on plan changes and will look forward to receiving a transmittal for a future development application.

d. **Public Comments.** Staff provided required public notice consistent with the BZO. One comment from the public was received (attached) and is addressed as follows:

1. Letter from Kendall Schoolmeester via email, received on March 18, 2019. This letter asks how the zone change to allow for 30 units will impact the Banks School District. Kendall states that “the classrooms are packed, most classes having at least 30 kids in them in the elementary school.” She also states that classes are larger in the High School. Kendall is expressing her concern about overcrowded classrooms.

Staff Response: Kendall S. asks a good question. Staff provides a copy of the land use submittals to the school district for review. No comments were received on this application. The school district has indicated in prior land use matters that they have sufficient capacity. Banks Elementary School has about 70 kids per grade, with a student ratio of 1 teacher for every 20 students. This ratio is considered low and allows for attendance rates to fluctuate while still maintaining a student’s quality of education.

Banks Middle School has an underutilized building, with empty classrooms. As a result, Banks Middle School is well positioned to cater to an increase in attendance that may result from an increase in Banks population.

Banks High School has experienced a decline in their overall student population with a decrease from roughly 420 students to a current student population of 375. As a result, Banks High School has a low student to teacher ratio and can cater to higher attendance levels.

Staff will reach out to the district and provide written evidence to the record for the March 26, 2019 meeting. In addition, when the UGB expansion work was completed in 2011, it was done in coordination with the Banks School District to ensure sufficient capacity.

Lastly, and probably most importantly for the Planning Commission to consider, State law (ORS 197.505 to 197.540) explicitly prohibits local government's ability to restrict development based on school capacity.

6. COMPLAINT WITH APPLICABLE CODE

The following City of Banks Development and Zoning Code criteria are applicable to the request and are shown in *italics* and **bold**. Staff findings follow each code provision in regular typeface. The findings, which are based on information submitted by the applicant, are preliminary. The final decision notice will contain any additional findings resulting from the Planning Commission deliberation, which may include responses to the public testimony and/or additional agency comments received by the close of the hearing.

The Applicant may amend his proposal through the public hearing process, and Staff may supplement this Staff Report. The findings and recommendations contained in this report may be modified based on factual information entered into the public hearing record.

Members of the public who have questions about the proposal or who would like to submit oral or written testimony must appear at the public hearing or provide written testimony before the close of the hearing. Testimony should respond directly to the applicable criteria.

7. PLAN AMENDMENT AND ZONE CHANGE

151.157 Comprehensive Plan and Zoning Amendment Criteria

(A) Quasi-judicial comprehensive plan and/or zoning amendment applications shall be approved if the following criteria have been met.

(B) The proposed change is consistent with and supportive of the Comprehensive Plan goals, objectives, and policies.

Finding: The Applicant states that Comprehensive Plan goals implicated by a plan and zone map amendment include Goal 2 - Land Use, Goal 10 - Housing, Goal 11 - Public Facilities and Services, and Goal 12 - Transportation. Other goals are not applicable because the City's compliance with those goals is not affected by a re-designation of the property from single-family to multi-family residential. Only goals and objectives that apply to the proposed plan amendment/zone change are addressed below. Staff concurs with the Applicant statement and finds this section met. In addition, Staff provides additional findings where needed to supplement the record.

Goal 1 – Citizen Involvement.

Finding: The City's acknowledged Comprehensive Plan and Municipal Code includes citizen involvement procedures with which the review of this application will comply. This process allows for citizens to communicate their input into the application review conducted by the City at public hearings or by submitting written comments. The City of Banks Planning Commission will review and comment on the proposed application on March 26, 2019 to make a recommendation to the City Council. The City Council will hold a hearing in April 2019. The City posted site notices consistent with code requirements. This process complies with the Goal.

Goal 2 - Land Use.

Objectives:

a. Land uses should be located to take advantage of existing public facility systems and physical features, and to minimize development costs.

Finding: Future multi-family units can rely on the existing streets, water, sewer, and utility connections that are already available in NW Banks Road. Increased density on the subject site encourages more efficient investment in infrastructure because it will allow for growth in an area of infrastructure already in place. Increased density in this location creates a walkable community, reducing the reliance on the automobile as a means of transportation because of the proximity to the downtown core. This in turn

improves air quality and reduces greenhouse gas emissions, as well as reduced street maintenance cost, due to potential reduced trip generation and driving reductions.

The Applicant is aware of the need to provide services to the site and that the provision of services will be the financial responsibility of the developer. The Applicant submitted a preliminary utility analysis and Staff has no objections with the preliminary findings. This section is met.

Regarding water supply, Staff provides a discussion in Section 5 of this Staff Report.

This section is met.

b. Land uses should be situated so as to achieve compatibility and to avoid conflicts between adjoining uses.

Finding: The subject site is located in an area with a variety of uses including retail, service, office, industrial, residential, and regional park facilities. The site is also located adjacent to the railroad and just north of a lumber mill. There is not one set of land uses to compare to achieve “compatibility” of the proposed use. The mix of uses is compatible with the Vision 2037 plan which calls for a vibrant downtown core in this part of Banks. Site development requirements in the BZO including setbacks, screening, and landscaping will further ensure that any future development on the site will be designed to mitigate any potential impacts to surrounding properties. This section is met.

d. Opportunities for a variety of land uses should be provided commensurate with population growth and demonstrated need.

Finding: The Applicant states that as the City of Banks has an unmet need of 153 multi-family units to meet the housing projections as identified in the 2011 UGB Study. Since that time, there have been no multi-family units constructed in Banks. There is unmet, demonstrated need still in existence. Staff concurs and finds this section is met.

Goal 10 - Housing.

Goal: To increase and improve the supply of housing commensurate with the community's needs.

Finding: The Applicant states that the proposed plan amendment/zone change will also be consistent with projected housing need. Staff concurs. The proposal would allow for more intense development than currently permitted under the existing R5 zoning.

As demonstrated by the table, taken from the City’s 2005 Housing and Residential Land Needs analysis, (Ord. 110.30) there is a need for 880 new dwelling units within the 2000-2024 planning period:

**Template 2
 Projected Future Housing Status
 as of 2024**

FA Future Population	FB Future Persons in Group Quarters	FC Future Persons per Household	FD Future Occupied Dwelling Units*	FE Current Total Dwelling Units	FF Dwelling Units Removed	FG New Dwelling Units Needed**
Estimated	Estimated	Estimated	(FA-FB)/FC	CF	Estimated	FD-FE+FF
3,739	0	2.75	1,360	490	10	880

* Number of non-Group Quarter Occupied Dwelling Units
 ** Excludes Group Quarter Dwelling Units

By increasing the number of dwelling units permitted on this site, the proposed amendment and zone change furthers the City’s goal of providing more housing. For this reason, the proposed plan amendment and zone change is consistent with Goal 10.

Objectives:

a. The City should evaluate proposals for new housing in terms of the impact of additional numbers of people on the natural environment, community services, utility support systems, and projected housing need.

Finding: This objective explains how the City is required to evaluate proposals of additional housing. Staff has evaluated the proposal for new housing consistent with this objective, throughout this report. Allowing the plan amendment and zone change on the subject site will meet the housing needs of Banks as well as encouraging housing in a location that has existing infrastructure, reducing the need to expand infrastructure to other locations. No impacts to the natural environment are anticipated from the proposed

map amendments; future development applications will review site specific environmental impacts. This section is met.

b. Housing should be developed in areas that reinforce and facilitate orderly and compatible community development.

Finding: The subject site has an existing residential designation. The change to a higher density designation will allow for housing in an area to take advantage of the existing street system and available utilities. This benefits the City because it reduces the need to extend City services elsewhere in the community. Providing for multi-family housing near the downtown core, where there are existing retail, civic and employment opportunities facilitates orderly development of an area with a mix of uses. Staff finds the location compatible for multi-family development for the reasons presented here. This section is met.

Policies:

4. Amendments to the comprehensive plan map and zoning map will be consistent with the City's housing needs projections.

Finding: As explained above, the City's adopted Housing and Residential Land Needs Analysis calls for 880 new dwelling units by 2024. Since the 2011 analysis, only 41 new residential lots have been developed. Staff finds this section met.

6. The City will ensure that adequate, buildable and serviceable land is zoned for all needed housing types.

Finding: The proposed plan amendment/zone change will help address an identified deficiency of multi-family zoned land. Staff concurs and finds this section is met.

Goal 11 - Public Facilities and Services.

Goal: To coordinate and arrange for the provision of public facilities and services in an efficient, orderly and timely manner.

Objectives:

b. New development should occur in areas where public utilities are available before reaching out into areas that are not served.

Finding: Public utilities are available along NW Banks Road. A statement is provided from the City Engineer regarding water service for this site. Staff finds this section is met.

e. Development of the City should occur in such a way as to facilitate the provision of police, fire protection, and other services.

Finding: Police, fire protection, and other city services are already available to serve the Property. As the property is located within the City Limits, the proposed plan amendment/zone change will not require an extension of such services outside of their current service areas. This section is met.

Goal 12: Transportation

Goal: To develop and encourage a safe, convenient, and economic transportation system.

Objectives:

b. Development should occur in such a manner as to encourage and facilitate pedestrian movements.

Finding: At the time of future development the sidewalk system and sidewalks will be provided along the NW Banks Road as required by the City's Transportation System Plan and Public Works Design Standards. This will provide for complete and safe pedestrian access from the site to the surrounding area.

Staff finds this section is met.

Policies:

1. The City will promote a balanced, safe, and efficient transportation system. In evaluating parts of the system, the City will support proposals which:

Protect the quality of neighborhoods and the community; and

Finding: The site is located on NW Banks Road, approximately 210' east of the intersection with NW Sellers Road. A traffic impact analysis (TIA) was completed by Global Transportation Engineering on December 5, 2018. This analysis demonstrates that the transportation system has adequate capacity to serve the anticipated development.

Therefore it is not anticipated to negatively impact the quality of the neighborhood or the community. Findings confirmed by the City's Traffic Engineer found that the proposed land use (specifically for the 30 multi-family units) can be adequately served by NW Banks Road without significantly impacting traffic safety or operations. Staff finds this section met.

Provide for adequate street capacity optimum efficiency and effectiveness.

Finding: As demonstrated by the enclosed TIA, that system is adequate to serve the proposed number of units. This section is met.

(C) The proposed change is compatible with the surrounding existing and planned land use pattern.

Finding: The Applicant states that the site is located within a few hundred feet of the downtown core. Providing a much-needed opportunity for multi-family housing near this existing hub that will continue to grow is compatible with the existing and planned land uses. This land use pattern includes a mix of commercial, industrial, single family and public facility uses. Staff concurs and finds this section is met.

(D) Public facilities (i.e. transportation system, water supply, sewer service, storm water disposal, and police and fire protection) are capable of supporting the uses permitted in the proposed zone.

Finding: The Applicant states that public facilities are available to serve the site as follows:

Streets. The TIA demonstrates that the transportation system has adequate capacity to serve the anticipated development. Pedestrian and cyclists will have access to downtown Banks and the regional trail system. NW Banks Road is a County facility. No objections were received from Washington County regarding the TIA.

Water Service. Water service to the site is described in the Kennedy Jenks Memo dated November 9, 2018, which outlines the 3% increase in water demand as a result of this application if approved. Staff incorporates the memo as findings in this report.

Sanitary Sewers. Sanitary sewer service is available in NW Banks road and future development will need to demonstrate compliance with Clean Water Services.

Stormwater Drainage. Stormwater services is provided by Clean Water Services. Future development will need to comply with Clean Water Services standards.

(E) The proposed change is consistent with the statewide planning goals.

Finding: The City's Comprehensive Plan implements the statewide planning goals and was acknowledged by the Land Conservation and Development Commission. The City's goals expressly mirror the Oregon Statewide Planning Goals in substance and are numbered identically. Consistency with the applicable goals of the Comprehensive Plan, is therefore sufficient to demonstrate consistency with the same applicable statewide planning goals. Thus, the Applicant addresses Goal 2 (Land Use Planning, Goal 10 (Housing), Goal 11 (Public Facilities and Services), and Goal 12 (Transportation) above.

(F) Amendments that affect transportation facilities. Except as provided in division (C), amendments to the comprehensive plan and land use regulations which significantly affect a transportation facility shall assure that allowed land uses are consistent with the function, capacity, and level of service of the facility identified in the Banks Transportation System Plan.

Finding: Pursuant to OAR 660-012-0060, a plan and land use regulation amendment "significantly affects a transportation facility" if it:

- (a) Changes the functional classification of an existing or planned transportation facility;
- (b) Changes the standards implementing a functional classification system;
- (c) Allows levels of development or land uses that would result in "types or levels of travel or access that are inconsistent with the functional classification" of a transportation facility;
- (d) Would reduce the performance standards of the facility below minimally acceptable levels identified in the transportation system plan (TSP); or
- (e) Would "[w]orsen the performance of an existing or planned transportation facility that is otherwise projected to perform below" the identified minimum performance standards.

The proposed plan amendment/zone change does not include a change to the functional classification of an existing or planned transportation system, or propose to change any street standards implementing a functional classification, it does not implicate (a) or (b),

above. The traffic analysis is based on a “reasonable worst case” scenario of 30 multi-family dwelling units, consistent with what is allowed by the current moratorium.

As explained therein, the existing street system is sufficient to accommodate the maximum-permitted 30 additional multi-family units and the proposal will not cause any intersections to drop below minimum levels of service. For these reasons, the proposal does not implicate (c)–(e) above, and will not “significantly affect” a transportation facility.

The City’s Traffic Engineer DKS and Associates reviewed the TIA. No objections are raised.

8. RECOMMENDATION

Based on the foregoing analysis and findings, Staff finds that the Planning Commission can find that the proposed Plan Amendment, and Zone Change can meet all applicable criteria. The Applications can be approved **as proposed** subject to the Applicant fulfilling the following conditions:

A. Conditions of Approval

1. This approval is conditioned to allow for a maximum number of 30 multi-family dwelling units, consistent with City of Banks Resolution 2018-19. There shall be no increase in the number of multi-family dwelling units at the time of development. If an increase is requested, the Applicant shall resubmit a modified plan amendment and zone change application demonstrating satisfaction of water capacity as outlined in the Resolution.
2. This approval shall automatically expire two (2) years from the date of this approval, unless a development application for 30 multi-family units has been submitted, development has commenced, an application for extension is filed, or this approval is revoked or invalidated.

PLANNING COMMISSION ACTION

After hearing the applicant's presentation and any public testimony, including any rebuttal, the Planning Commission will close the hearing and deliberate. The Commission has three options: Based on the relevant criteria, you may approve or deny the application, or approve it with modifications and/or conditions. The following motion is suggested:

"I move to recommend approval of CPA 19-01 and ZC 19-01 to the Banks City Council based on the findings and subject to the conditions of approval contained in the staff report [as amended]."

The staff report may be amended during the course of the hearing. A motion to approve should itemize any modified or additional conditions of approval.

Respectfully submitted this 18th day of March, 2019:

Stacey Goldstein, Contract Planner, City of Banks
Reviewed by Jolynn Becker, City Manager
Daniel Kearns, City Attorney

Attachments:

1. Comments to the record including:
 - DKS memo dated March 20, 2018
 - City Engineer memo dated November 9, 2019
 - Email from Washington County Transportation
 - Letter from the public
2. City of Banks Resolution No. 2018-19
3. Application Submittal from Ardor Consulting including narrative, application and TIA.
4. Planning Maps
5. City of Banks Housing Needs Analysis 2011 UGB Report (on file)